

# INTERIOR ALTERATIONS

## ASCENDANT PROPERTY GROUP, LLC

1608 MELROSE DR SW ATLANTA, GA



Sheet List	
Sht #	Sheet Name
A0	TITLE SHEET
A0.1	GENERAL NOTES
A1	EXISTING FLOOR PLAN
A2	EXISTING ELEVATIONS
A3	PROPOSED FLOOR PLAN
A4	PROPOSED FRONT AND REAR ELEVATIONS

SCOPE OF WORK:
* INTERIOR ALTERATIONS OF A SINGLE FAMILY RESIDENCE.
APPLICABLE CODE
<ul style="list-style-type: none"> <li>• INTERNATIONAL BUILDING CODE - 2012 EDITION WITH GEORGIA AMENDMENTS</li> <li>• NATIONAL ELECTRICAL CODE - 2012 EDITION WITH GEORGIA AMENDMENTS</li> <li>• INTERNATIONAL GAS CODE - 2012 EDITION WITH GEORGIA AMENDMENTS</li> <li>• INTERNATIONAL MECHANICAL CODE - 2012 EDITION WITH GEORGIA AMENDMENTS</li> <li>• INTERNATIONAL PLUMBING CODE - 2012 EDITION WITH GEORGIA AMENDMENTS</li> <li>• INTERNATIONAL ENERGY CONSERVATIONS CODE - 2012 EDITION WITH GEORGIA AMENDMENTS</li> <li>• GEORGIA ACCESSIBILITY CODE - 1997 - GAC 120-3-20</li> <li>• INTERNATIONAL FIRE CODE 2012 EDITION</li> <li>• INTERNATIONAL RESIDENTIAL CODE FOR ONE &amp; TWO FAMILY DWELLINGS</li> <li>• US DEPARTMENT OF JUSTICE, 2010 A.D.A. STANDARDS FOR ACCESSIBLE DESIGN (ADOPTED MARCH 15, 2012)</li> </ul>

1 COVER



DATE	09/01/16	REVISION #:		REVISION:	
JOB #	16-B14	REVISION DATE:		REVISION BY:	
DESIGNED BY	C. PARKER	REVISION BY:		SCALE:	RELEASED FOR CONSTRUCTION
DRAWN BY	CSD	SCALE:		SCALE BASED ON 11x17 SHEET SIZE	
A0					
TITLE SHEET INTERIOR ALTERATIONS ASCENDANT PROPERTY GROUP, LLC 1608 MELROSE DR SW ATLANTA, GA					

# GENERAL NOTES

**CONSTRUCTION AND FRAMING NOTES**

1. DESIGN LOADS ARE AS FOLLOWS PER SQ. FT.

LOCATION	LIVE	DEAD	DEFLECT LIMIT
1 <sup>ST</sup> FLOOR	40 LB.	10 LB.	L/360
2 <sup>ND</sup> FLOOR (SLEEPING AREA)	30 LB.	10 LB.	L/360
ATTIC (NON STORAGE)	10 LB.	5 LB.	L/240
ATTIC (STORAGE)	20 LB.	10 LB.	L/240
ROOF (W/FINISHED CEILING)	30 LB. SNOW	15 LB.	L/240
ROOF (NO FINISHED CEILING)	30 LB.	7 LB.	L/180
DECKS	60 LB.	10 LB.	L/360

SNOW LOADS HAVE BEEN ADJUSTED TO REFLECT THE SLIDE OFF FACTOR AS A FUNCTION OF ROOF PITCH. RAFTER SIZES MAY HAVE TO BE INCREASED TO ACCOMMODATE HIGHER SNOW LOADS. VERIFY WITH LOCAL CODES.

- LUMBER SHALL BE DOUGLAS-FIR-LARCH, HEM-FIR OR SOUTHERN YELLOW PINE WITH FB=1450 AND E=1.6 MINIMUM.
- AL HEADERS SHALL BE FREE FROM ALL SPLITS, CHECKS OR SHAKES.
- UNLESS NOTED OTHERWISE, PROVIDE DOUBLE HEADER JOISTS AND TRIMMERS AT ALL FLOOR OPENINGS, DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS, DOUBLE 2X12 HEADERS WITH ½” PLYWOOD, GLUED BETWEEN AND NAILED, FOR ALL OPENINGS IN 2X6 WALLS. DOUBLE 2X12 HEADERS NAILED TOGETHER FOR ALL OPENINGS IN 2X4 WALLS.
- FLOOR CONSTRUCTION: ¾” TONGUE AND GROOVE SUBFLOOR WITH FINISH MATERIAL OVER.
- STAIR CONSTRUCTION SHALL CONSIST OF (3) 2X2 STRINGERS, 5/4” OR 2X THICK TREADS AND ¾” THICK RISERS OR MATERIALS FABRICATED BY A COMPONENT MANUFACTURER.
- ALL WOOD PLATES IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED AND SILICONE SEALED.
- MICRO-LAM BEAMS SHALL HAVE BENDING STRESS: FB=2800 PSI. VERIFY WITH LOCAL CODES.
- SPECIAL UPLIFT CONNECTORS AS INDICATED AT CANTILEVERED JOISTS SHALL BE SIMPSON STRONG TIE ANCHORS OR EQUAL.
- MINIMUM HEADER SIZE SHALL BE (2) 2”X6” UNLESS NOTED OTHERWISE EXTERIOR WALLS SHALL BE (2) 2X12 WITH ½” PLYWOOD.
- ALL STRUCTURAL STEEL SHALL CONFORM WITH ASTM SPECIFICATION A-36.
- UNLESS OTHERWISE NOTED, PROVIDE A 2X PLATE BOLTED TO THE TOP FLANGE OF ALL STEEL BEAMS WITH 3/8” DIAMETER BOLTS STAGGERED AT 24” ON CENTER. RIGIDLY FASTEN ALL CONNECTING RAFTERS AND JOISTS AS APPROVED BY GOVERNING CODES, UNLESS OTHERWISE NOTED.
- FLOOR FRAMING LAYOUT SHALL BE COORDINATED WITH THE GENERAL AND HVAC CONTRACTORS TO PROVIDE ACCESS CHASES AND UNOBSTRUCTED RUNS FOR HVAC DUCT WORK. FLOOR TRUSS LAYOUT TO BE ENGINEERED BY TRUSS MANUFACTURE.
- PROVIDE BRIDGING OR BLOCKING AT MIDSPAN OF JOISTS/RAFTERS/TRUSSES, MAXIMUM SPACING BETWEEN BEARING WALL AND BLOCKING IS 8’0”.
- THESE FRAMING PLANS WERE DESIGNED USING STANDARD CONSTRUCTION PRACTICES. THEY CONFORM TO STANDARD BUILDING CODES. DUE TO VARIATIONS IN LOCAL CODES AND GEOLOGICAL CONDITIONS REVISIONS MAY BE REQUIRED TO THESE PLANS.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL CODES. REGULATIONS AND FHA/VA MPS. THE BUILDER SHALL VERIFY ALL CONDITIONS WITH LOCAL STRUCTURAL ENGINEERS AND CODE OFFICIALS PRIOR TO USING THE FRAMING MATERIALS PROVIDED TO INSURE COMPLIANCE WITH CODES AND STRUCTURAL INTEGRITY.

**NOTE:**

- HVAC TO BE IN ATTIC. VERIFY WITH BUILDER.
- UPPER FLOOR CEILING HEIGHTS TO BE 8’0” UNLESS NOTED.
- UPPER FLOOR JOISTS TO BE 16 ½” OPEN WEB FLOOR TRUSSES @ 16”OC w/3/4 T&G ADVANTECH FLOOR GLUED AND SCREWED. SEE TRUSS MANUF. FOR FLOOR TRUSS LAYOUTS. ALL OPEN WEB FLOOR TRUSSES TO BE DESIGNED AND ENGINEERED BY TRUSS MANUF. TRUSS MANUF. WILL PROVIDE TRUSS LAYOUT BASED ON ENGINEERING TRUSS MANUF. TO SUPPLY TRUSSES W/ CHAMFERED END ON SELECTED UNITS TO ALLOW FOR EXT WALL SUPPORT AND RATER CLEARANCE.
- HVAC AND W.H. TO BE IN ATTIC UNLESS OTHERWISE NOTED.

**ELEVATION NOTES:**

- GUTTERS AND DOWNSPOUTS ARE NOT SHOWN FOR CLARITY. DOWNSPOUTS SHALL BE LOCATED TOWARDS THE FRONT AND REAR OF THE HOUSE. LOCATE DOWNSPOUTS IN NON-VISUALLY OFFENSIVE LOCATIONS. FOR EXAMPLE, FRONT WALL OF HOUSE BESIDE PORCH COLUMNS, ETC. GENERAL CONTRACTOR SHALL VERIFY EXISTING GRADES AND COORDINATE ANY NECESSARY ADJUSTMENTS TO HOUSE WITH OWNER.
- PLUMBING AND HVAC VENTS SHALL BE GROPED IN ATTIC TO LIMIT ROOF PENETRATIONS AND TO BE LOCATED AWAY FROM PUBLIC VIEW. I.E. AT THE REAR OF THE HOUSE AND SHALL BE PRIMED AND PAINTED TO MATCH ROOF COLOR.
- PROVIDE ATTIC VENTILATION PER LOCAL CODE REQUIREMENTS.
- EXTERIOR FLASHING SHALL BE CORRECTLY INSTALLED AT ALL CONNECTIONS BETWEEN ROOFS, WALLS, CHIMNEYS, PROJECTIONS AND PENETRATIONS AS REQUIRED BY APPROVED CONSTRUCTION PRACTICES.
- CONTRACTOR SHALL PROVIDE ADEQUATE ATTIC VENTILATIONS ROOF VENTS PER LOCAL GOVERNING CODE. INSTALL CONTINUOUS RIDGE VENTILATION AND PAINT TO MATCH ROOF. PROVIDE APPROPRIATE SOFFIT VENTILATION AT OVERHANGS. FRAMING NOTES:
- RAFTERS TO BE SUPPORTED BY CONT. BRACING FOR HORIZONTAL SPANS OF 15’0” OR GREATER.
- SUPPORT ALL HIP, VALLEY AND RIDGES @ 8’0” OC MAX.
- ALL RAFTERS TO BEAR ON SECOND FLOOR WALLS WHERE APPLICABLE.
- RAFTERS MAY BE SPLICED ONLY @ CONT. BRACING OR SECOND FLOOR WALLS.
- RAFTERS TO BE PLACED IN COMPLIANCE WITH ALL LOCAL CODES. EXAMPLES:
- 2X6 RAFTER@16”OC MAX WITH ½” P W DECKING
- 2X6 RAFTERS @ 24”OC MAX WITH 5/8”P W DECKING
- 2X8 RAFTERS @ 24”OC MAX WITH 5/8”P W DECKING
- 2X8 RAFTERS @ 16”OC MAX WITH ½” P W DECKING
- FASCIA OVERHANG TO BE 12” (TYP) UNLESS NOTED ON ELEVATIONS.
- ALL HIP/VALLEY RAFTERS TO BE 2X10 UNLESS NOTED.

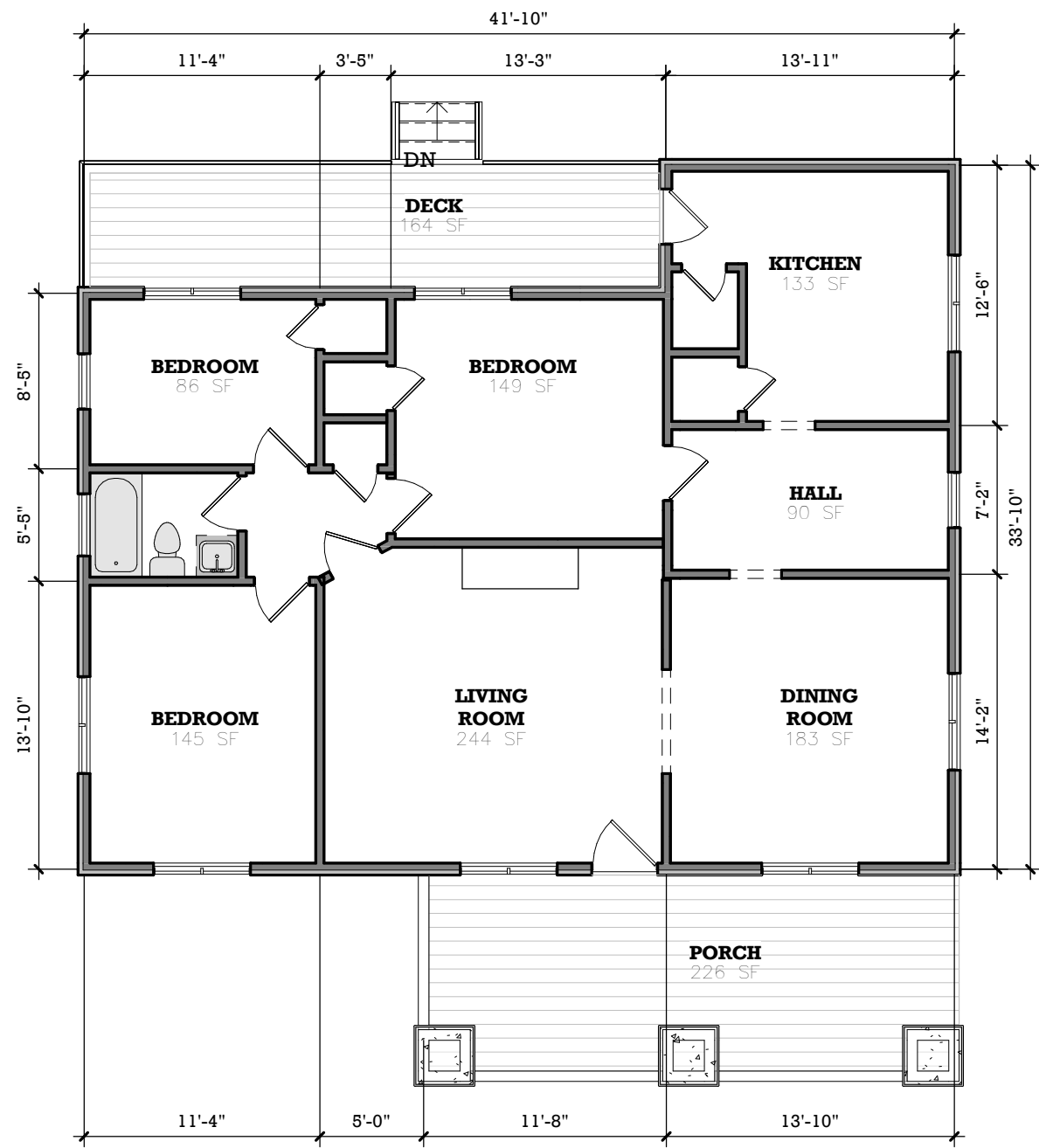
**NOTE:**

PURLINS ARE PERMITTED TO BE INSTALLED TO REDUCE THE SPAN OF RAFTERS. PURLINS SHALL BE SUPPORTED BY 2 INCH X 4 INCH BRACES INSTALLED TO BEARING WALLS AT A SLOPE OF NOT LESS THAN 45 DEGREES. THE BRACES SHALL NOT BE SPACED MORE THAN 48” APART ON CENTER AND THE UNBRACED LENGTH OF BRACES SHALL NOT EXCEED 8 FT. PURLINS SHALL BE CONTINUOUS (REFER IRC R802.5.1)

**FLOOR PLANS NOTES:**

- ALL STRUCTURAL INFORMATION SHOWN FOR REFERENCE PURPOSES ONLY. CONTRACTOR SHALL HAVE LICENSED STRUCTURAL ENGINEER REVIEW AND DESIGN ALL STRUCTURAL ELEMENTS SUCH AS ALL FRAMING WALLS, BEAMS, CONNECTIONS, HEADERS, JOISTS AND RAFTERS.
- ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE.
- WINDOW SIZES INDICATED ON PLANS ARE NOTED BY APPROXIMATE ROUGH OPENING SIZE, REFER TO PLANS AND EXTERIOR ELEVATIONS FOR WINDOW TYPES.
- COORDINATE LOCATION OF UTILITY METERS WITH SITE PLAN AND LOCATE AWAY FROM PUBLIC VIEW. VISUAL IMPACT SHALL BE MINIMIZED. I.E. MOUNT AS LOW AS POSSIBLE.
- PREFABRICATED FIREPLACE CONSTRUCTION SHALL MEET OR EXCEED ALL APPLICABLE CODES REGARDING USE OF FIRE SEPARATIONS, CLEARANCES, ETC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL ITEMS AND CONSTRUCTION MEET OR EXCEED CODE. OVERALL FLUE HEIGHT SHALL BE COORDINATED TO MATCH HEIGHT SHOWN ON PLANS AND SHALL NOT EXCEED THE TOP OF CHIMNEY CHASES AS CONSTRUCTED.
- CONTRACTOR SHALL COORDINATE ALL CLOSET SHELVING REQUIREMENTS.
- DO NOT SCALE DRAWINGS. FOLLOW DIMENSIONS.
- CONTRACTOR SHALL FIELD VERIFY ALL CABINET DIMENSIONS BEFORE FABRICATION.
- BEDROOM WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ FT. A MINIMUM NET CLEAR OPENABLE WIDTH OF 20”, A MINIMUM NET CLEAR OPENABLE HEIGHT OF 24” AND HAVE A MAXIMUM FINISH SILL HEIGHT OF 43” FROM FINISH FLOOR.
- ALL GLASS LOCATED WITHIN 18” OF FLOOR, 12” OF A DOOR OR LOCATED WITHIN 60” OF FLOOR AT BATHTUBS, WHIRLPOOLS, SHOWERS, SAUNAS, STEAM ROOMS OR HOT TUBS SHALL BE TEMPERED.
- ALL EXPOSED INSULATION SHALL HAVE A FLAME SPREAD RATING OF LESS THAN 25 AND A SMOKE DENSITY RATING OF LESS THAN 450.
- PROVIDE COMBUSTION AIR VENTS, WITH SCREEN AND BACK DAMPER, FOR FIREPLACES, WOOD STOVES AND ANY APPLIANCE WITH AN OPEN FLAME.
- BATHROOMS AND UTILITY ROOMS SHALL BE VENTED TO THE OUTSIDE WITH A MINIMUM OF A 90 CFM FAN. RANGE HOODS SHALL ALSO BE VENTED TO OUTSIDE.
- ATTIC HVAC UNITS SHALL BE LOCATED WITHIN 20’ OF ITS SERVICE OPENING. RETURN AIR GRILLES SHALL NOT BE LOCATED WITHIN 10 FEET OF A GAS FIRED APPLIANCE.
- ALL WALLS AND CEILINGS IN GARAGE AND GARAGE STORAGE AREAS TO HAVE 5/8 TYPE X GYP BOARD W/1 HOUR FIRE RATING. ALL EXT. DOORS IN GARAGE TO BE METAL OR SOLID CORE DOORS INCLUDING DOORS ENTERING HEAT/COOLED PORTION OF RESIDENCE.
- ALL FIREPLACE CHASE WALLS SHALL BE INSULATED INSIDE AND OUTSIDE. PROVIDE HORIZONTAL “DRAFT STOPS” AT EACH FLOOR LEVEL BY PACKING 6” (R-19) INSULATION BETWEEN 2X4 JOISTS.
- ALL INTERIOR WALLS SHALL BE COVERED WITH ½” GYPSUM BOARD. WITH METAL CORNER REINFORCING, TAPE FLOAT AND SAND (3 COATS) USE 5/8” GYPSUM BOARD ON CEILINGS WHEN SUPPORTING MEMBERS ARE 24”OC OR GREATER. USE ½” GYPSUM BOARD ON CEILING MEMBERS LESS THAN 24”OC.
- ALL BATH AND TOILET AREA WALLS AND CEILINGS SHALL HAVE WATER RESISTANT GYPSUM BOARD.

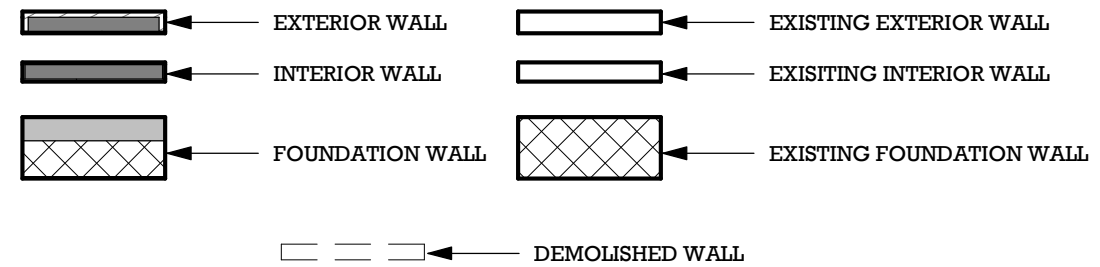
<b>ASCENDANT</b> <small>PROPERTY GROUP</small>	REVISION #: REVISION DATE: REVISION BY: SCALE: <small>SCALE BASED ON 11'-0" X 17'-0" SHEET SIZE</small>	GENERAL NOTES INTERIOR ALTERATIONS ASCENDANT PROPERTY GROUP, LLC 1608 MELROSE DR SW ATLANTA, GA	DATE: 09/01/16 JOB #: 16-JB14 DESIGNED BY: C.PARKER DRAWN BY: CSD
A0.1 <small>8 1/2" x 11"</small>			



**1** EXISTING FLOOR PLAN  
1/8" = 1'-0"



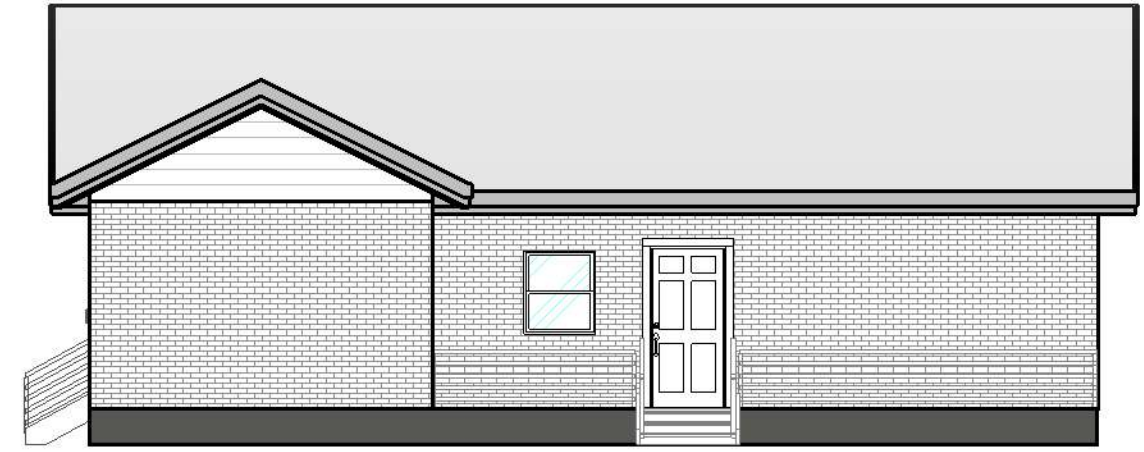
**2** DEMO PLAN  
1/16" = 1'-0"



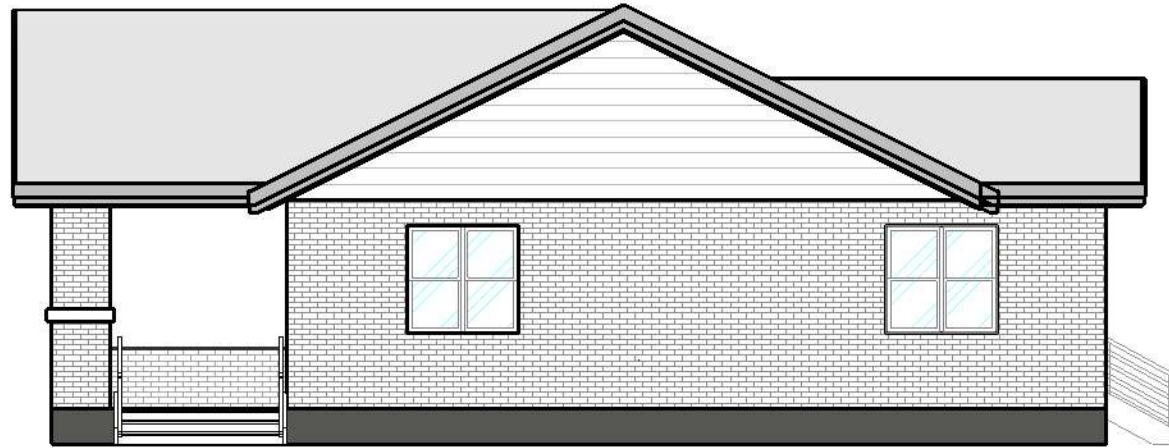
**WALL TYPE LEGEND**  
1/4" = 1'-0"



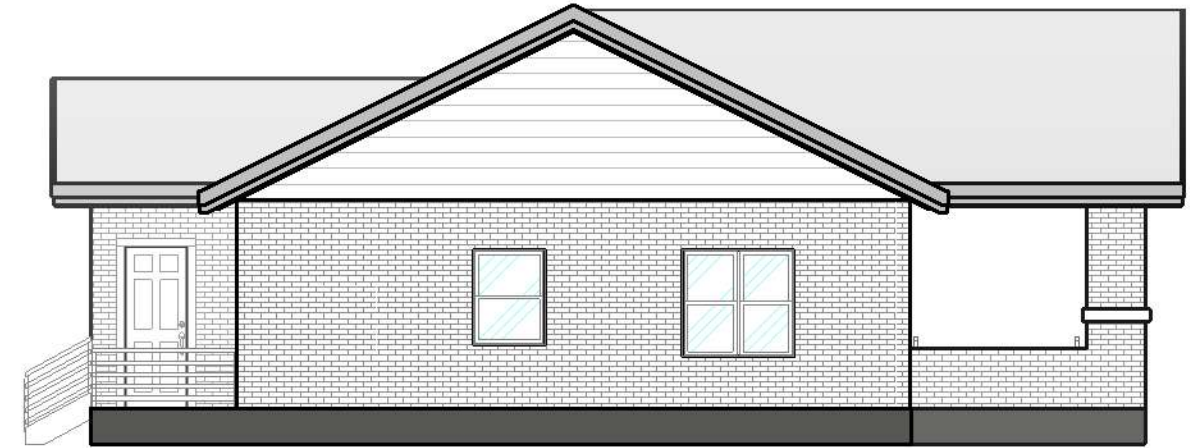
1 EXISTING FRONT ELEVATION  
1/8" = 1'-0"



2 EXISTING REAR ELEVATION  
1/8" = 1'-0"

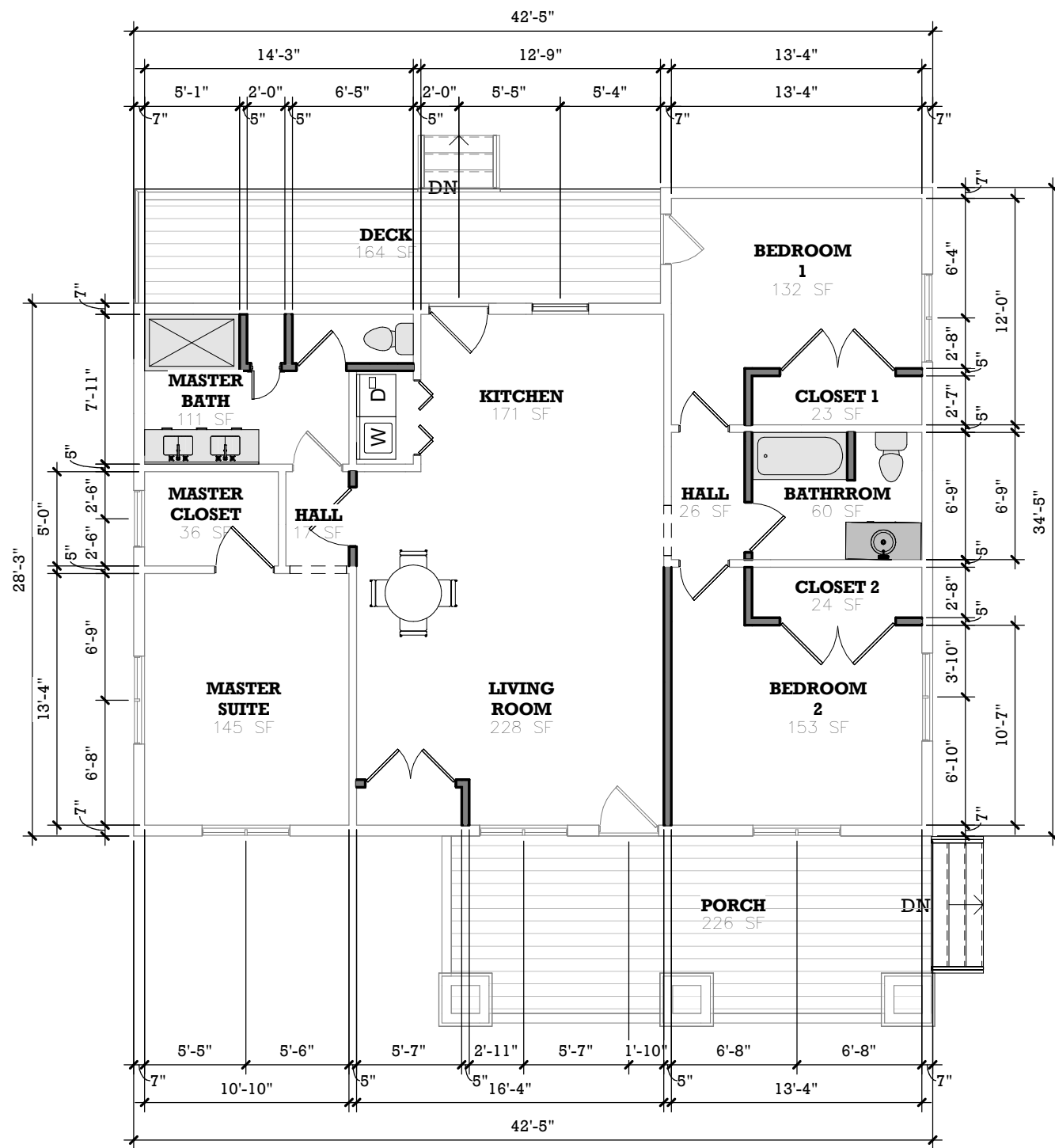


3 EXISTING LEFT ELEVATION  
1/8" = 1'-0"

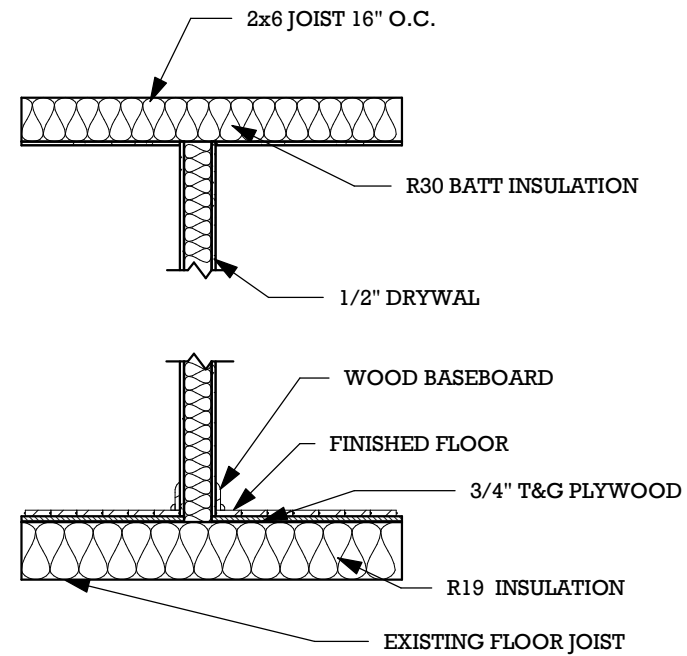


4 EXISTING RIGHT ELEVATION  
1/8" = 1'-0"

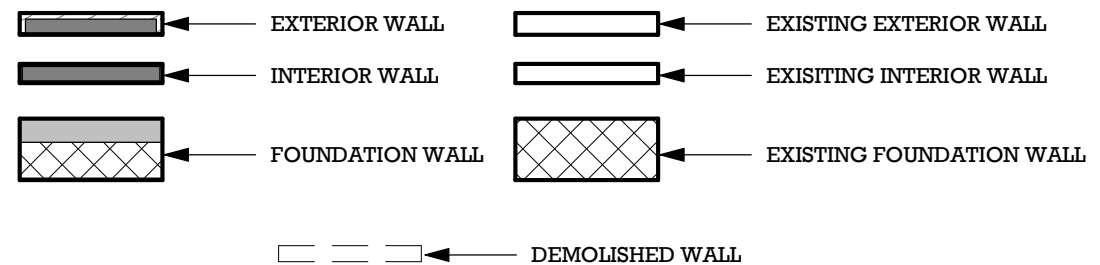
DATE	09/01/16	REVISION #:	
JOB #	16-B14	REVISION DATE:	
DESIGNED BY	C.PARKER	REVISION BY:	
DRAWN BY	CSD	SCALE:	1/8" = 1'-0"
		RELEASED FOR CONSTRUCTION	
EXISTING ELEVATIONS INTERIOR ALTERATIONS ASCENDANT PROPERTY GROUP, LLC 1608 MELROSE DR SW ATLANTA, GA			



**1** PROPOSED PLAN  
1/8" = 1'-0"



**2** TYPICAL INTERIOR WALL SECTION  
1/2" = 1'-0"

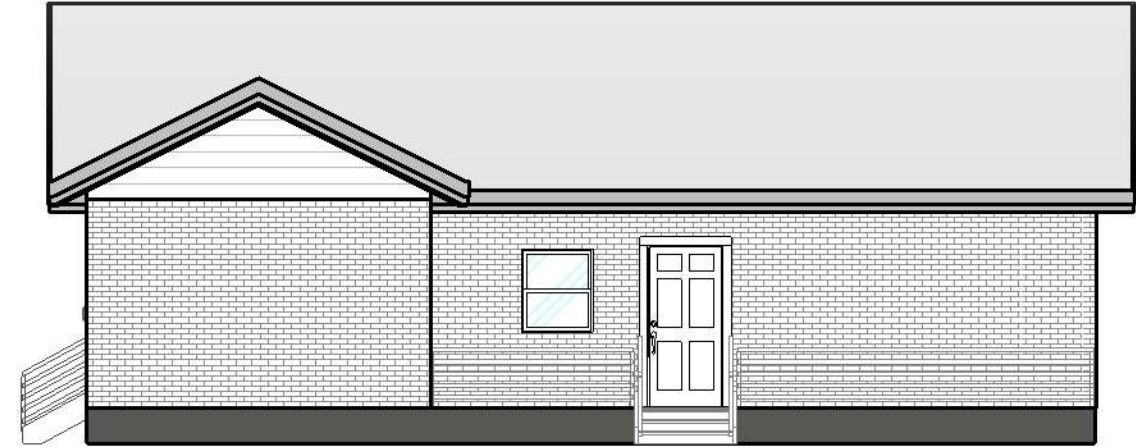


**3** WALL TYPE LEGEND  
1/4" = 1'-0"

DATE	09/01/16	REVISION #:	
JOB #	16-B14	REVISION DATE:	
DESIGNED BY	C.PARKER	REVISION BY:	As indicated
DRAWN BY	CSD	SCALE:	As indicated
PROPOSED FLOOR PLAN INTERIOR ALTERATIONS ASCENDANT PROPERTY GROUP, LLC 1608 MELROSE DR SW ATLANTA, GA			
8 1/2" x 11"			



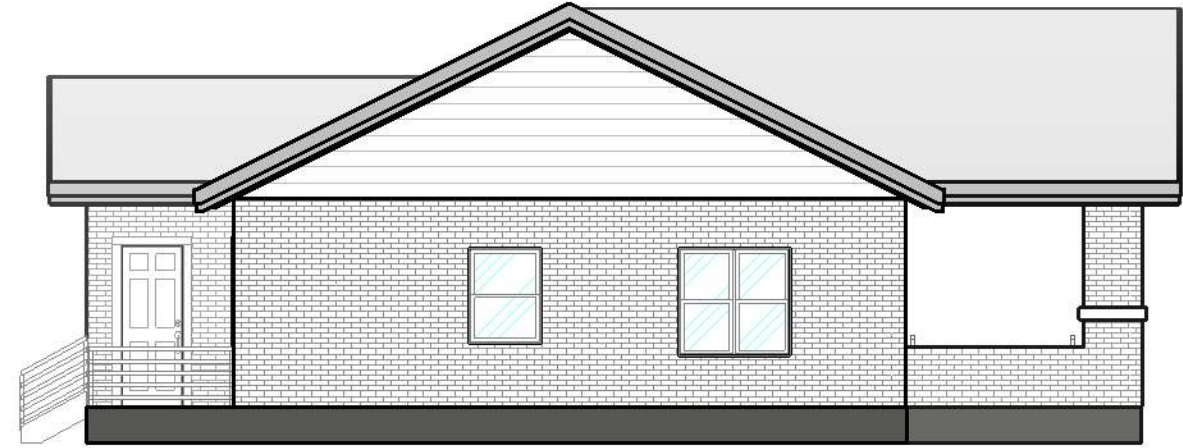
2 PROPOSED FRONT ELEVATION  
1/8" = 1'-0"



1 PROPOSED REAR ELEVATION  
1/8" = 1'-0"



3 PROPOSED LEFT ELEVATION  
1/8" = 1'-0"



4 PROPOSED RIGHT ELEVATION  
1/8" = 1'-0"

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A4		RELEASED FOR CONSTRUCTION	
PROPOSED FRONT AND REAR ELEVATIONS INTERIOR ALTERATIONS ASCENDANT PROPERTY GROUP, LLC 1608 MELROSE DR SW ATLANTA, GA			