

INTERIOR ALTERATIONS

ASCENDANT PROPERTY GROUP, LLC

1419 EVERHART ST SW ATLANTA, GA 30310



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SCOPE OF WORK:
INTERIOR ALTERATIONS OF A SINGLE FAMILY RESIDENCE.
APPLICABLE CODE
<ul style="list-style-type: none"> • NATIONAL ELECTRICAL CODE - 2012 EDITION WITH GEORGIA AMENDMENTS • INTERNATIONAL GAS CODE - 2012 EDITION WITH GEORGIA AMENDMENTS • INTERNATIONAL PLUMBING CODE - 2012 EDITION WITH GEORGIA AMENDMENTS • INTERNATIONAL ENERGY CONSERVATIONS CODE - 2012 EDITION WITH GEORGIA AMENDMENTS • GEORGIA ACCESSIBILITY CODE - 1997 - GAC 120-3-20 • INTERNATIONAL RESIDENTIAL CODE FOR ONE & TWO FAMILY DWELLINGS



DATE	12/08/16	REVISION #:	
JOB #	16-B04	REVISION DATE:	
DESIGNED BY	Designer	REVISION BY:	
DRAWN BY	Author	SCALE:	SCALE BASED ON 11"x17" SHEET SIZE
TITLE SHEET INTERIOR ALTERATIONS ASCENDANT PROPERTY GROUP, LLC 1419 EVERHART ST SW ATLANTA, GA 30310			
A0.0			

CONSTRUCTION AND FRAMING NOTES

1. DESIGN LOADS ARE AS FOLLOWS PER SQ. FT.
LOCATION LIVE DEAD DEFLECT LIMIT
1ST FLOOR 40 LB. 10 LB. L/360
2ND FLOOR (SLEEPING AREA) 30 LB. 10 LB. L/360
ATTIC (NON STORAGE) 10 LB. 5 LB. L/240
ATTIC (STORAGE) 20 LB. 10 LB. L/240
ROOF (W/FINISHED CEILING) 30 LB. SNOW 15 LB. L/240
ROOF (NO FINISHED CEILING) 30 LB. 7 LB. L/180
DECKS 60 LB. 10 LB. L/360

SNOW LOADS HAVE BEEN ADJUSTED TO REFLECT THE SLIDE OFF FACTOR AS A FUNCTION OF ROOF PITCH. RAFTER SIZES MAY HAVE TO BE INCREASED TO ACCOMMODATE HIGHER SNOW LOADS. VERIFY WITH LOCAL CODES.

2. LUMBER SHALL BE DOUGLAS-FIR-LARCH, HEM-FIR OR SOUTHERN YELLOW PINE WITH FB=1450 AND E=1.6 MINIMUM.

3. AL HEADERS SHALL BE FREE FROM ALL SPLITS, CHECKS OR SHAKES.

4. UNLESS NOTED OTHERWISE, PROVIDE DOUBLE HEADER JOISTS AND TRIMMERS AT ALL FLOOR OPENINGS, DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS, DOUBLE 2X12 HEADERS WITH 1/2" PLYWOOD, GLUED BETWEEN AND NAILED, FOR ALL OPENINGS IN 2X6 WALLS. DOUBLE 2X12 HEADERS NAILED TOGETHER FOR ALL OPENINGS IN 2X4 WALLS.

5. FLOOR CONSTRUCTION: 3/4" TONGUE AND GROOVE SUBFLOOR WITH FINISH MATERIAL OVER.

6. STAIR CONSTRUCTION SHALL CONSIST OF (3) 2X2 STRINGERS, 5/4" OR 2X THICK TREADS AND 3/4" THICK RISERS OR MATERIALS FABRICATED BY A COMPONENT MANUFACTURER.

7. ALL WOOD PLATES IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED AND SILICONE SEALED.

8. MICRO-LAM BEAMS SHALL HAVE BENDING STRESS: FB=2800 PSI. VERIFY WITH LOCAL CODES.

9. SPECIAL UPLIFT CONNECTORS AS INDICATED AT CANTILEVERED JOISTS SHALL BE SIMPSON STRONG TIE ANCHORS OR EQUAL.

10. MINIMUM HEADER SIZE SHALL BE (2) 2"X6" UNLESS NOTED OTHERWISE EXTERIOR WALLS SHALL BE (2) 2X12 WITH 1/2" PLYWOOD.

11. ALL STRUCTURAL STEEL SHALL CONFORM WITH ASTM SPECIFICATION A-36.

12. UNLESS OTHERWISE NOTED, PROVIDE A 2X PLATE BOLTED TO THE TOP FLANGE OF ALL STEEL BEAMS WITH 3/8" DIAMETER BOLTS STAGGERED AT 24" ON CENTER. RIGIDLY FASTEN ALL CONNECTING RAFTERS AND JOISTS AS APPROVED BY GOVERNING CODES, UNLESS OTHERWISE NOTED.

13. FLOOR FRAMING LAYOUT SHALL BE COORDINATED WITH THE GENERAL AND HVAC CONTRACTORS TO PROVIDE ACCESS CHASES AND UNOBSTRUCTED RUNS FOR HVAC DUCT WORK. FLOOR TRUSS LAYOUT TO BE ENGINEERED BY TRUSS MANUFACTURE.

14. PROVIDE BRIDGING OR BLOCKING AT MIDSPAN OF JOISTS/RAFTERS/TRUSSES, MAXIMUM SPACING BETWEEN BEARING WALL AND BLOCKING IS 8'0".

15. THESE FRAMING PLANS WERE DESIGNED USING STANDARD CONSTRUCTION PRACTICES. THEY CONFORM TO STANDARD BUILDING CODES. DUE TO VARIATIONS IN LOCAL CODES AND GEOLOGICAL CONDITIONS REVISIONS MAY BE REQUIRED TO THESE PLANS.

16. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL CODES. REGULATIONS AND FHA/VA MPS. THE BUILDER SHALL VERIFY ALL CONDITIONS WITH LOCAL STRUCTURAL ENGINEERS AND CODE OFFICIALS PRIOR TO USING THE FRAMING MATERIALS PROVIDED TO INSURE COMPLIANCE WITH CODES AND STRUCTURAL INTEGRITY.

NOTE:

1. HVAC TO BE IN ATTIC. VERIFY WITH BUILDER.

2. UPPER FLOOR CEILING HEIGHTS TO BE 8'0" UNLESS NOTED.

3. UPPER FLOOR JOISTS TO BE 16 1/2" OPEN WEB FLOOR.

TRUSSES @ 16"OC w/3/4 T&G ADVANTECH FLOOR GLUED AND SCREWED. SEE TRUSS MANUF. FOR FLOOR TRUSS LAYOUTS. ALL OPEN WEB FLOOR TRUSSES TO BE DESIGNED AND ENGINEERED BY TRUSS MANUF. TRUSS MANUF. WILL PROVIDE TRUSS LAYOUT BASED ON ENGINEERING TRUSS MANUF. TO SUPPLY TRUSSES W/ CHAMFERED END ON SELECTED UNITS TO ALLOW FOR EXT WALL SUPPORT AND RATER CLEARANCE.

4. HVAC AND W.H. TO BE IN ATTIC UNLESS OTHERWISE NOTED.

ELEVATION NOTES:

1. GUTTERS AND DOWNSPOUTS ARE NOT SHOWN FOR CLARITY. DOWNSPOUTS SHALL BE LOCATED TOWARDS THE FRONT AND REAR OF THE HOUSE. LOCATE DOWNSPOUTS IN NON-VISUALLY OFFENSIVE LOCATIONS. FOR EXAMPLE, FRONT WALL OF HOUSE BESIDE PORCH COLUMNS, ETC. GENERAL CONTRACTOR SHALL VERIFY EXISTING GRADES AND COORDINATE ANY NECESSARY ADJUSTMENTS TO HOUSE WITH OWNER.

2. PLUMBING AND HVAC VENTS SHALL BE GROPED IN ATTIC TO LIMIT ROOF PENETRATIONS AND TO BE LOCATED AWAY FROM PUBLIC VIEW. I.E. AT THE REAR OF THE HOUSE AND SHALL BE PRIMED AND PAINTED TO MATCH ROOF COLOR.

3. PROVIDE ATTIC VENTILATION PER LOCAL CODE REQUIREMENTS.

4. EXTERIOR FLASHING SHALL BE CORRECTLY INSTALLED AT ALL CONNECTIONS BETWEEN ROOFS, WALLS, CHIMNEYS, PROJECTIONS AND PENETRATIONS AS REQUIRED BY APPROVED CONSTRUCTION PRACTICES.

5. CONTRACTOR SHALL PROVIDE ADEQUATE ATTIC VENTILATIONS ROOF VENTS PER LOCAL GOVERNING CODE. INSTALL CONTINUOUS RIDGE VENTILATION AND PAINT TO MATCH ROOF. PROVIDE APPROPRIATE SOFFIT VENTILATION AT OVERHANGS. FRAMING NOTES:

6. RAFTERS TO BE SUPPORTED BY CONT. BRACING FOR HORIZONTAL SPANS OF 15'0" OR GREATER.

7. SUPPORT ALL HIP, VALLEY AND RIDGES @ 8'0" OC MAX.

8. ALL RAFTERS TO BEAR ON SECOND FLOOR WALLS WHERE APPLICABLE.

9. RAFTERS MAY BE SPLICED ONLY @ CONT. BRACING OR SECOND FLOOR WALLS.

10. RAFTERS TO BE PLACED IN COMPLIANCE WITH ALL LOCAL CODES. EXAMPLES:

11. 2X6 RAFTER@16"OC MAX WITH 1/2" P W DECKING

12. 2X6 RAFTERS @ 24"OC MAX WITH 5/8"P W DECKING

13. 2X8 RAFTERS @ 24"OC MAX WITH 5/8"P W DECKING

14. 2X8 RAFTERS @ 16"OC MAX WITH 1/2" P W DECKING

6. FASCIA OVERHANG TO BE 12" (TYP) UNLESS NOTED ON ELEVATIONS.

7. ALL HIP/VALLEY RAFTERS TO BE 2X10 UNLESS NOTED.

NOTE:

PURLINS ARE PERMITTED TO BE INSTALLED TO REDUCE THE SPAN OF RAFTERS. PURLINS SHALL BE SUPPORTED BY 2 INCH X 4 INCH BRACES INSTALLED TO BEARING WALLS AT A SLOPE OF NOT LESS THAN 45 DEGREES. THE BRACES SHALL NOT BE SPACED MORE THAN 48" APART ON CENTER AND THE UNBRACED LENGTH OF BRACES SHALL NOT EXCEED 8 FT. PURLINS SHALL BE CONTINUOUS (REFER IRC R802.5.1)

FLOOR PLANS NOTES:

1. ALL STRUCTURAL INFORMATION SHOWN FOR REFERENCE PURPOSES ONLY. CONTRACTOR SHALL HAVE LICENSED STRUCTURAL ENGINEER REVIEW AND DESIGN ALL STRUCTURAL ELEMENTS SUCH AS ALL FRAMING WALLS, BEAMS, CONNECTIONS, HEADERS, JOISTS AND RAFTERS.

2. ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE.

3. WINDOW SIZES INDICATED ON PLANS ARE NOTED BY APPROXIMATE ROUGH OPENING SIZE, REFER TO PLANS AND EXTERIOR ELEVATIONS FOR WINDOW TYPES.

4. COORDINATE LOCATION OF UTILITY METERS WITH SITE PLAN AND LOCATE AWAY FROM PUBLIC VIEW. VISUAL IMPACT SHALL BE MINIMIZED. I.E. MOUNT AS LOW AS POSSIBLE.

5. PREFABRICATED FIREPLACE CONSTRUCTION SHALL MEET OR EXCEED ALL APPLICABLE CODES REGARDING USE OF FIRE SEPARATIONS, CLEARANCES, ETC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL ITEMS AND CONSTRUCTION MEET OR EXCEED CODE.

OVERALL FLUE HEIGHT SHALL BE COORDINATED TO MATCH HEIGHT SHOWN ON PLANS AND SHALL NOT EXCEED THE TOP OF CHIMNEY CHASES AS CONSTRUCTED.

6. CONTRACTOR SHALL COORDINATE ALL CLOSET SHELIVING REQUIREMENTS.

7. DO NOT SCALE DRAWINGS. FOLLOW DIMENSIONS.

8. CONTRACTOR SHALL FIELD VERIFY ALL CABINET DIMENSIONS BEFORE FABRICATION.

9. BEDROOM WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ FT. A MINIMUM NET CLEAR OPENABLE WIDTH OF 20", A MINIMUM NET CLEAR OPENABLE HEIGHT OF 24" AND HAVE A MAXIMUM FINISH SILL HEIGHT OF 43" FROM FINISH FLOOR.

10. ALL GLASS LOCATED WITHIN 18" OF FLOOR, 12" OF A DOOR OR LOCATED WITHIN 60" OF FLOOR AT BATHTUBS, WHIRLPOOLS, SHOWERS, SAUNAS, STEAM ROOMS OR HOT TUBS SHALL BE TEMPERED.

11. ALL EXPOSED INSULATION SHALL HAVE A FLAME SPREAD RATING OF LESS THAN 25 AND A SMOKE DENSITY RATING OF LESS THAN 450.

12. PROVIDE COMBUSTION AIR VENTS, WITH SCREEN AND BACK DAMPER, FOR FIREPLACES, WOOD STOVES AND ANY APPLIANCE WITH AN OPEN FLAME.

13. BATHROOMS AND UTILITY ROOMS SHALL BE VENTED TO THE OUTSIDE WITH A MINIMUM OF A 90 CFM FAN. RANGE HOODS SHALL ALSO BE VENTED TO OUTSIDE.

14. ATTIC HVAC UNITS SHALL BE LOCATED WITHIN 20' OF ITS SERVICE OPENING. RETURN AIR GRILLES SHALL NOT BE LOCATED WITHIN 10 FEET OF A GAS FIRED APPLIANCE.

15. ALL WALLS AND CEILINGS IN GARAGE AND GARAGE STORAGE AREAS TO HAVE 5/8 TYPE X GYP BOARD W/1 HOUR FIRE RATING. ALL EXT. DOORS IN GARAGE TO BE METAL OR SOLID CORE DOORS INCLUDING DOORS ENTERING HEAT/COOLED PORTION OF RESIDENCE.

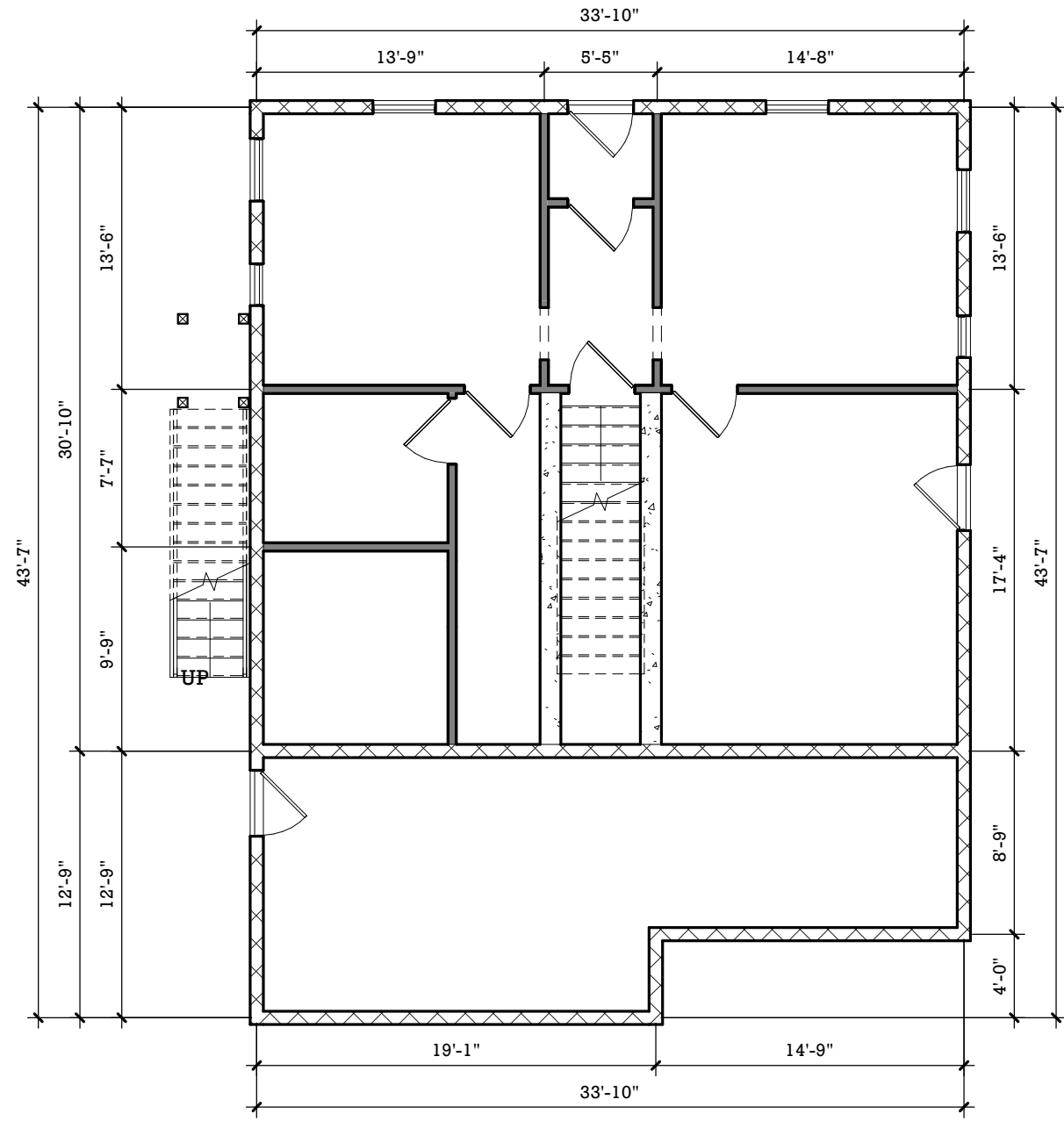
16. ALL FIREPLACE CHASE WALLS SHALL BE INSULATED INSIDE AND OUTSIDE. PROVIDE HORIZONTAL "DRAFT STOPS" AT EACH FLOOR LEVEL BY PACKING 6"(R-19) INSULATION BETWEEN 2X4 JOISTS.

17. ALL INTERIOR WALLS SHALL BE COVERED WITH 1/2" GYPSUM BOARD. WITH METAL CORNER REINFORCING, TAPE FLOAT AND SAND (3 COATS) USE 5/8" GYPSUM BOARD ON CEILINGS WHEN SUPPORTING MEMBERS ARE 24"OC OR GREATER. USE 1/2" GYPSUM BOARD ON CEILING MEMBERS LESS THAN 24"OC.

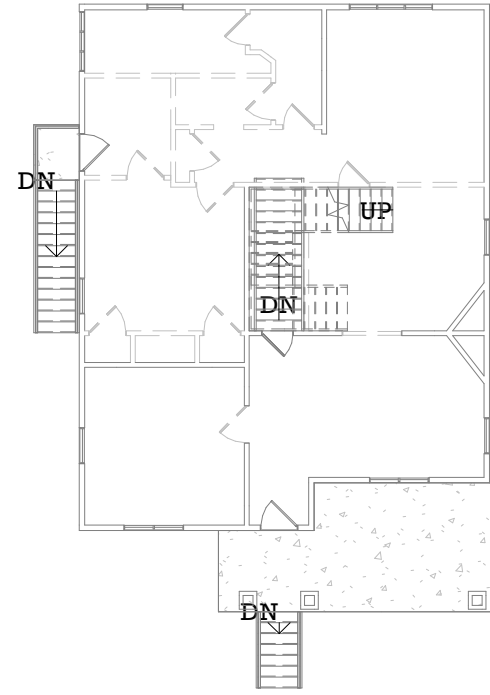
18. ALL BATH AND TOILET AREA WALLS AND CEILINGS SHALL HAVE WATER RESISTANT GYPSUM BOARD.

GENERAL NOTES

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ASCENDANT PROPERTY GROUP	
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DATE	12/08/16
JOB #	16-JB04
DESIGNED BY	Designer
DRAWN BY	Author
A0.1	
8 1/2"x11"	



1 EXISTING BASEMENT PLAN
1/8" = 1'-0"



2 DEMO PLAN
1/16" = 1'-0"

DATE 12/08/16
JOB # 16-B04

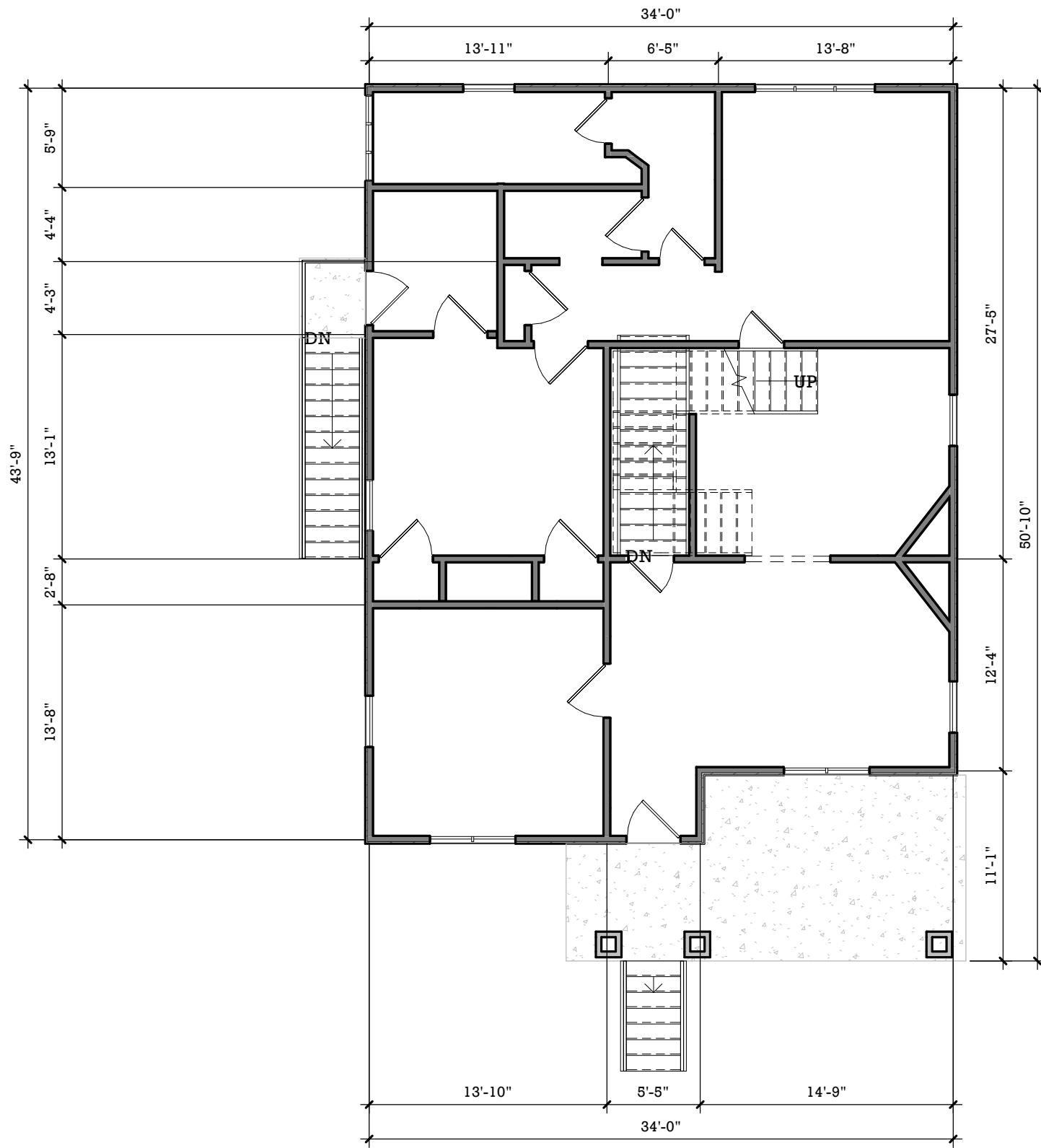
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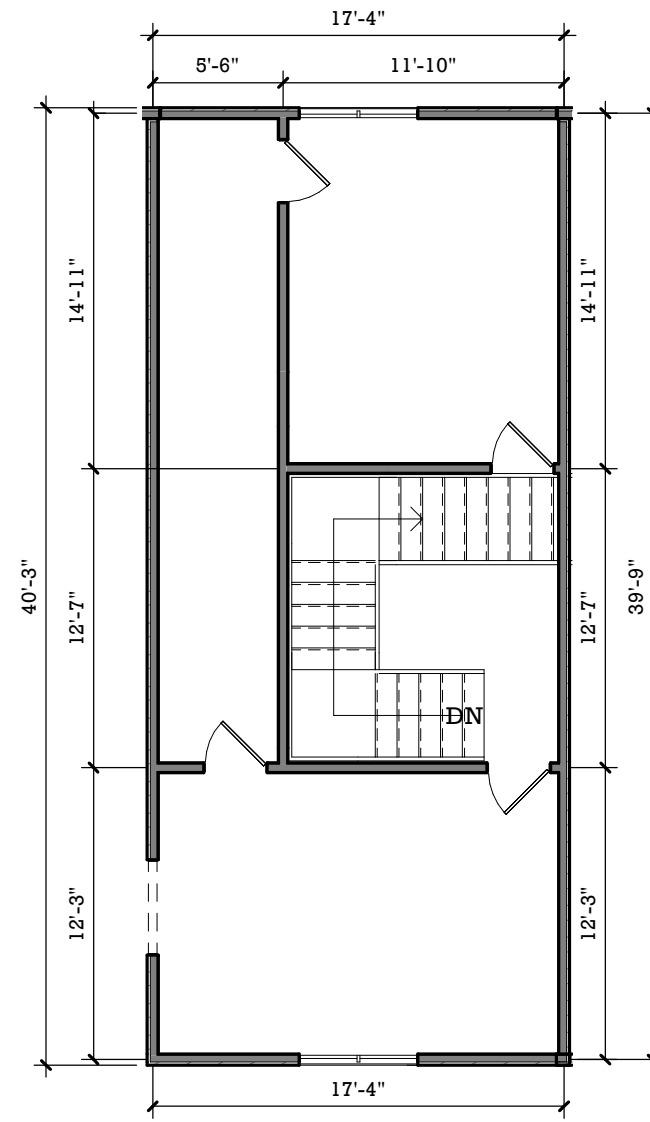
EXISTING BASEMENT PLAN
INTERIOR ALTERATIONS
ASCENDANT PROPERTY GROUP, LLC
1419 EVERHART ST SW ATLANTA, GA 30310



REVISION #:
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REVISION BY:
SCALE: As indicated
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2 EXISTING FIRST FLOOR PLAN
1/8" = 1'-0"



3 EXISTING SECOND FLOOR
1/8" = 1'-0"

DATE 11/06/16
JOB # 16-B04

DESIGNED BY CPARKER
DRAWN BY CSD

EXISTING FIRST / SECOND FLOOR PLANS
INTERIOR ALTERATIONS
ASCENDANT PROPERTY GROUP, LLC
1419 EVERHART ST SW ATLANTA, GA 30310



REVISION #:
REVISION DATE:
REVISION BY:
SCALE: 1/8" = 1'-0"
SCALE BASED ON 11x17 SHEET SIZE



1 EXISTING FRONT ELEVATION
1/8" = 1'-0"



2 EXISTING REAR ELEVATION
1/8" = 1'-0"

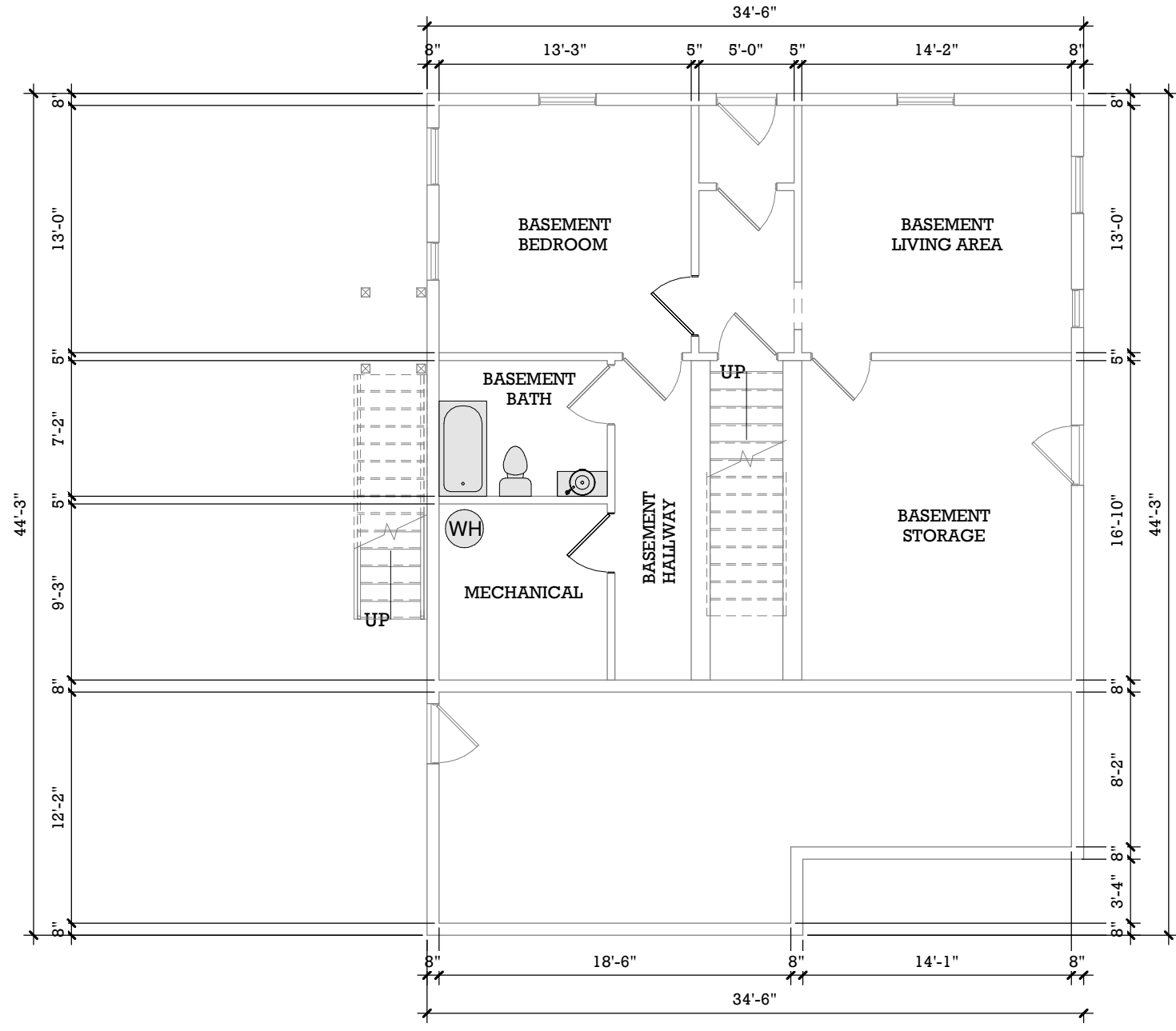


3 EXISTING LEFT ELEVATION
1/8" = 1'-0"



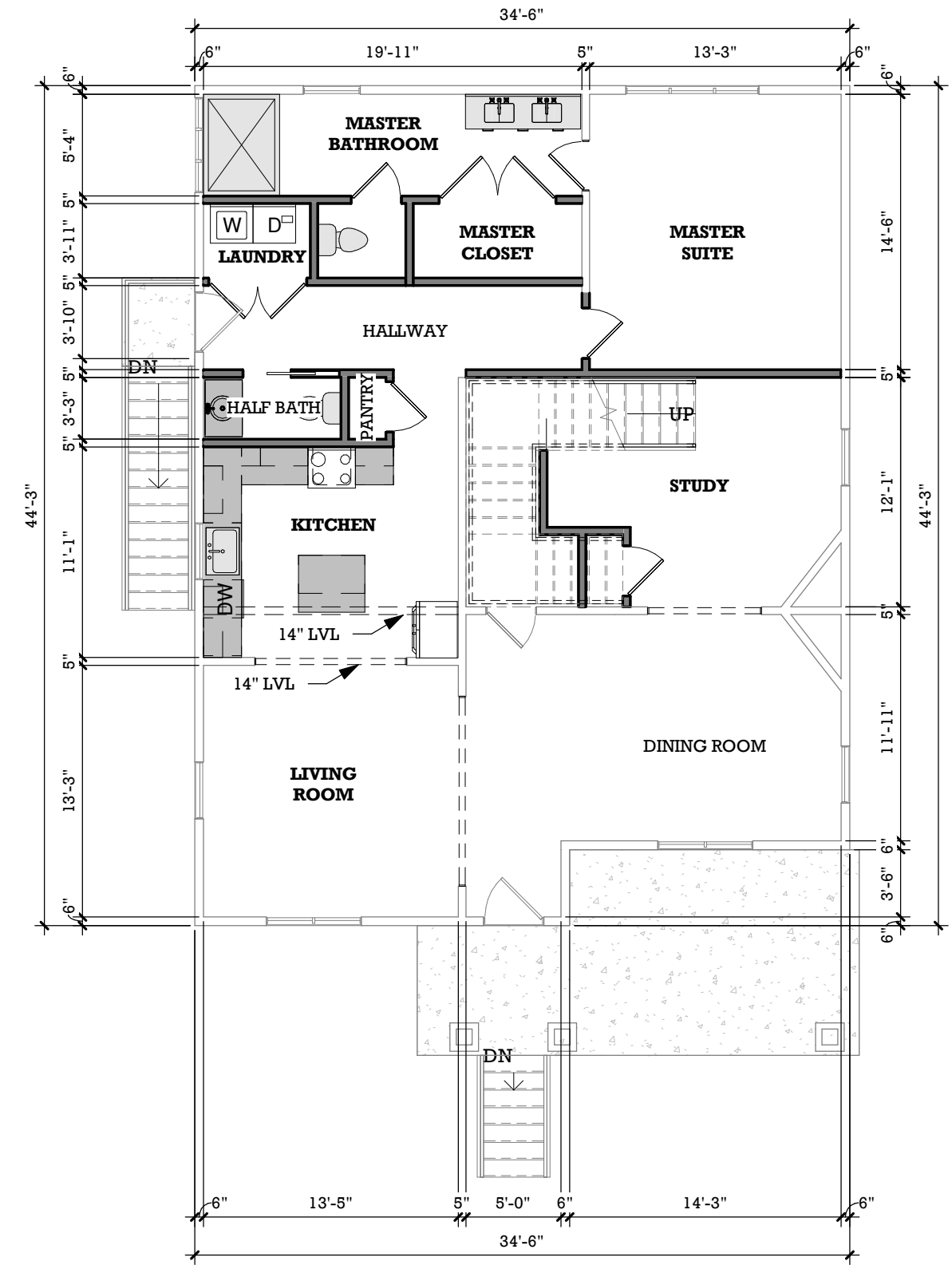
4 EXISTING RIGHT ELEVATION
1/8" = 1'-0"

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EXISTING ELEVATIONS INTERIOR ALTERATIONS ASCENDANT PROPERTY GROUP, LLC 1419 EVERHART ST SW ATLANTA, GA 30310			
A1.2			

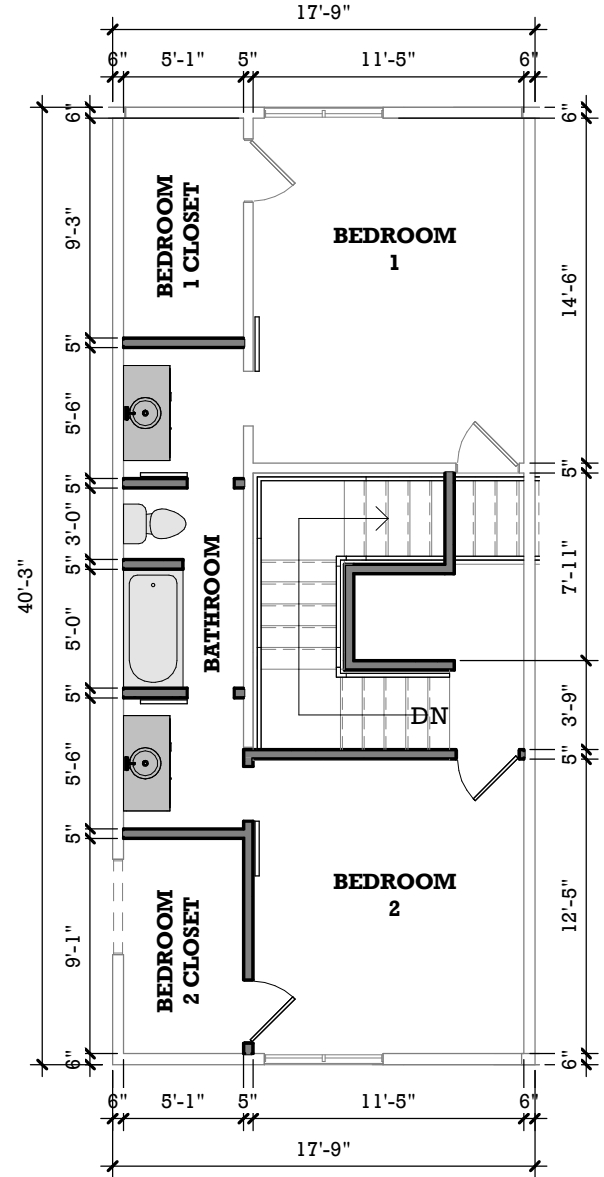


1 PROPOSED BASEMENT PLAN
 1/8" = 1'-0"

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A2.0		SCALE BASED ON 11x17 SHEET SIZE	
PROPOSED BASEMENT PLAN INTERIOR ALTERATIONS ASCENDANT PROPERTY GROUP, LLC 1419 EVERHART ST SW ATLANTA, GA 30310			



1 PROPOSED FIRST FLOOR PLAN
1/8" = 1'-0"



2 PROPOSED SECOND FLOOR
1/8" = 1'-0"

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PROPOSED FIRST / SECOND FLOOR PLAN INTERIOR ALTERATIONS ASCENDANT PROPERTY GROUP, LLC 1419 EVERHART ST SW ATLANTA, GA 30310			



1 PROPOSED FRONT ELEVATION
1/8" = 1'-0"



2 PROPOSED REAR ELEVATION
1/8" = 1'-0"



3 PROPOSED LEFT ELEVATION
1/8" = 1'-0"



4 PROPOSED RIGHT ELEVATION
1/8" = 1'-0"

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