

INTERIOR ALTERATIONS

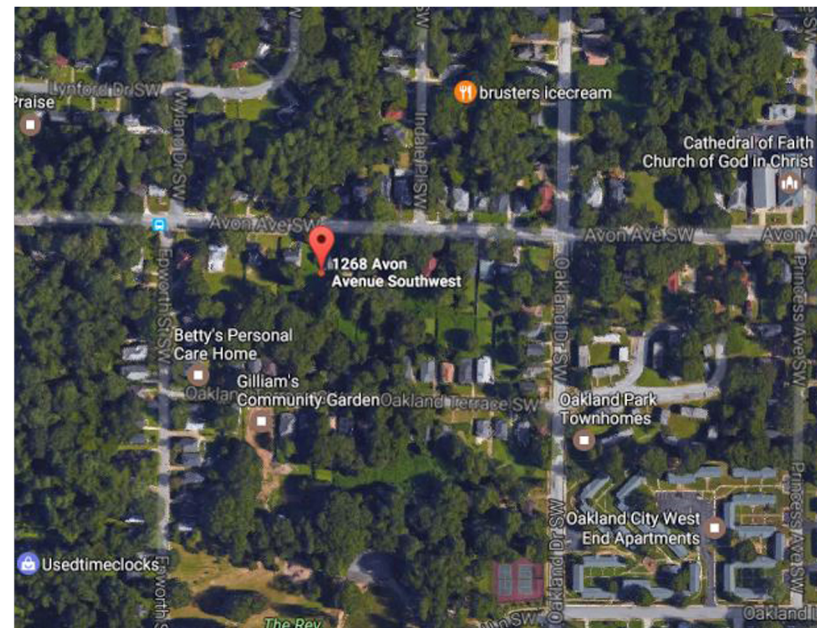
1268 AVON AVE SW ATLANTA, GA 30310

ASCENDANT PROPERTY GROUP, LLC

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SCOPE OF WORK:
INTERIOR ALTERATIONS
APPLICABLE CODE
<ul style="list-style-type: none"> • NATIONAL ELECTRICAL CODE - 2012 EDITION WITH GEORGIA AMENDMENTS • INTERNATIONAL GAS CODE - 2012 EDITION WITH GEORGIA AMENDMENTS • INTERNATIONAL PLUMBING CODE - 2012 EDITION WITH GEORGIA AMENDMENTS • INTERNATIONAL ENERGY CONSERVATIONS CODE - 2012 EDITION WITH GEORGIA AMENDMENTS • GEORGIA ACCESSIBILITY CODE - 1997 - GAC 120-3-20 • INTERNATIONAL RESIDENTIAL CODE FOR ONE & TWO FAMILY DWELLINGS



	ASCENDANT PROPERTY GROUP
TITLE SHEET INTERIOR ALTERATIONS ASCENDANT PROPERTY GROUP, LLC 1268 AVON AVE SW ATLANTA, GA 30310	REVISION #: REVISION DATE: 1/18/17 REVISION BY: JAKIYA MIXON SCALE:
DATE: 1/5/17 JOB #: DESIGNED BY: JAKIYA R. MIXON DRAWN BY: JAKIYA R. MIXON	RELEASED FOR CONSTRUCTION
A0	8 1/2" x 11"

CONSTRUCTION AND FRAMING NOTES

1. DESIGN LOADS ARE AS FOLLOWS PER SQ. FT.			
LOCATION	LIVE	DEAD	DEFLECT LIMIT
1 ST FLOOR	40 LB.	10 LB.	L/360
2 ND FLOOR (SLEEPING AREA)	30 LB.	10 LB.	L/360
ATTIC (NON STORAGE)	10 LB.	5 LB.	L/240
ATTIC (STORAGE)	20 LB.	10 LB.	L/240
ROOF (W/FINISHED CEILING)	30 LB.	SNOW 15 LB.	L/240
ROOF (NO FINISHED CEILING)	30 LB.	7 LB.	L/180
DECKS	60 LB.	10 LB.	L/360

SNOW LOADS HAVE BEEN ADJUSTED TO REFLECT THE SLIDE OFF FACTOR AS A FUNCTION OF ROOF PITCH. RAFTER SIZES MAY HAVE TO BE INCREASED TO ACCOMMODATE HIGHER SNOW LOADS. VERIFY WITH LOCAL CODES.

2. LUMBER SHALL BE DOUGLAS-FIR-LARCH, HEM-FIR OR SOUTHERN YELLOW PINE WITH FB=1450 AND E=1.6 MINIMUM.

3. AL HEADERS SHALL BE FREE FROM ALL SPLITS, CHECKS OR SHAKES.

4. UNLESS NOTED OTHERWISE, PROVIDE DOUBLE HEADER JOISTS AND TRIMMERS AT ALL FLOOR OPENINGS, DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS, DOUBLE 2X12 HEADERS WITH 1/2" PLYWOOD, GLUED BETWEEN AND NAILED, FOR ALL OPENINGS IN 2X6 WALLS. DOUBLE 2X12 HEADERS NAILED TOGETHER FOR ALL OPENINGS IN 2X4 WALLS.

5. FLOOR CONSTRUCTION: 3/4" TONGUE AND GROOVE SUBFLOOR WITH FINISH MATERIAL OVER.

6. STAIR CONSTRUCTION SHALL CONSIST OF (3) 2X2 STRINGERS, 5/4" OR 2X THICK TREADS AND 3/4" THICK RISERS OR MATERIALS FABRICATED BY A COMPONENT MANUFACTURER.

7. ALL WOOD PLATES IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED AND SILICONE SEALED.

8. MICRO-LAM BEAMS SHALL HAVE BENDING STRESS: FB=2800 PSI. VERIFY WITH LOCAL CODES.

9. SPECIAL UPLIFT CONNECTORS AS INDICATED AT CANTILEVERED JOISTS SHALL BE SIMPSON STRONG TIE ANCHORS OR EQUAL.

10. MINIMUM HEADER SIZE SHALL BE (2) 2"X6" UNLESS NOTED OTHERWISE EXTERIOR WALLS SHALL BE (2) 2X12 WITH 1/2" PLYWOOD.

11. ALL STRUCTURAL STEEL SHALL CONFORM WITH ASTM SPECIFICATION A-36.

12. UNLESS OTHERWISE NOTED, PROVIDE A 2X PLATE BOLTED TO THE TOP FLANGE OF ALL STEEL BEAMS WITH 3/8" DIAMETER BOLTS STAGGERED AT 24" ON CENTER. RIGIDLY FASTEN ALL CONNECTING RAFTERS AND JOISTS AS APPROVED BY GOVERNING CODES, UNLESS OTHERWISE NOTED.

13. FLOOR FRAMING LAYOUT SHALL BE COORDINATED WITH THE GENERAL AND HVAC CONTRACTORS TO PROVIDE ACCESS CHASES AND UNOBSTRUCTED RUNS FOR HVAC DUCT WORK. FLOOR TRUSS LAYOUT TO BE ENGINEERED BY TRUSS MANUFACTURE.

14. PROVIDE BRIDGING OR BLOCKING AT MIDSPAN OF JOISTS/RAFTERS/TRUSSES, MAXIMUM SPACING BETWEEN BEARING WALL AND BLOCKING IS 8'0".

15. THESE FRAMING PLANS WERE DESIGNED USING STANDARD CONSTRUCTION PRACTICES. THEY CONFORM TO STANDARD BUILDING CODES. DUE TO VARIATIONS IN LOCAL CODES AND GEOLOGICAL CONDITIONS REVISIONS MAY BE REQUIRED TO THESE PLANS.

16. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL CODES. REGULATIONS AND FHA/VA MPS. THE BUILDER SHALL VERIFY ALL CONDITIONS WITH LOCAL STRUCTURAL ENGINEERS AND CODE OFFICIALS PRIOR TO USING THE FRAMING MATERIALS PROVIDED TO INSURE COMPLIANCE WITH CODES AND STRUCTURAL INTEGRITY.

NOTE:

1. HVAC TO BE IN ATTIC. VERIFY WITH BUILDER.

2. UPPER FLOOR CEILING HEIGHTS TO BE 8'0" UNLESS NOTED.

3. UPPER FLOOR JOISTS TO BE 16 1/2" OPEN WEB FLOOR.

TRUSSES @ 16"OC w/3/4 T&G ADVANTECH FLOOR GLUED AND SCREWED. SEE TRUSS MANUF. FOR FLOOR TRUSS LAYOUTS. ALL OPEN WEB FLOOR TRUSSES TO BE DESIGNED AND ENGINEERED BY TRUSS MANUF. TRUSS MANUF. WILL PROVIDE TRUSS LAYOUT BASED ON ENGINEERING TRUSS MANUF. TO SUPPLY TRUSSES W/ CHAMFERED END ON SELECTED UNITS TO ALLOW FOR EXT WALL SUPPORT AND RATER CLEARANCE.

4. HVAC AND W.H. TO BE IN ATTIC UNLESS OTHERWISE NOTED.

ELEVATION NOTES:

1. GUTTERS AND DOWNSPOUTS ARE NOT SHOWN FOR CLARITY. DOWNSPOUTS SHALL BE LOCATED TOWARDS THE FRONT AND REAR OF THE HOUSE. LOCATE DOWNSPOUTS IN NON-VISUALLY OFFENSIVE LOCATIONS. FOR EXAMPLE, FRONT WALL OF HOUSE BESIDE PORCH COLUMNS, ETC. GENERAL CONTRACTOR SHALL VERIFY EXISTING GRADES AND COORDINATE ANY NECESSARY ADJUSTMENTS TO HOUSE WITH OWNER.

2. PLUMBING AND HVAC VENTS SHALL BE GROPED IN ATTIC TO LIMIT ROOF PENETRATIONS AND TO BE LOCATED AWAY FROM PUBLIC VIEW. I.E. AT THE REAR OF THE HOUSE AND SHALL BE PRIMED AND PAINTED TO MATCH ROOF COLOR.

3. PROVIDE ATTIC VENTILATION PER LOCAL CODE REQUIREMENTS.

4. EXTERIOR FLASHING SHALL BE CORRECTLY INSTALLED AT ALL CONNECTIONS BETWEEN ROOFS, WALLS, CHIMNEYS, PROJECTIONS AND PENETRATIONS AS REQUIRED BY APPROVED CONSTRUCTION PRACTICES.

5. CONTRACTOR SHALL PROVIDE ADEQUATE ATTIC VENTILATIONS ROOF VENTS PER LOCAL GOVERNING CODE. INSTALL CONTINUOUS RIDGE VENTILATION AND PAINT TO MATCH ROOF. PROVIDE APPROPRIATE SOFFIT VENTILATION AT OVERHANGS. FRAMING NOTES:

6. RAFTERS TO BE SUPPORTED BY CONT. BRACING FOR HORIZONTAL SPANS OF 15'0" OR GREATER.

7. SUPPORT ALL HIP, VALLEY AND RIDGES @ 8'0" OC MAX.

8. ALL RAFTERS TO BEAR ON SECOND FLOOR WALLS WHERE APPLICABLE.

9. RAFTERS MAY BE SPLICED ONLY @ CONT. BRACING OR SECOND FLOOR WALLS.

10. RAFTERS TO BE PLACED IN COMPLIANCE WITH ALL LOCAL CODES. EXAMPLES:

11. 2X6 RAFTER@16"OC MAX WITH 1/2" P W DECKING

12. 2X6 RAFTERS @ 24"OC MAX WITH 5/8" P W DECKING

13. 2X8 RAFTERS @ 24"OC MAX WITH 5/8" P W DECKING

14. 2X8 RAFTERS @ 16"OC MAX WITH 1/2" P W DECKING

6. FASCIA OVERHANG TO BE 12" (TYP) UNLESS NOTED ON ELEVATIONS.

7. ALL HIP/VALLEY RAFTERS TO BE 2X10 UNLESS NOTED.

NOTE:

PURLINS ARE PERMITTED TO BE INSTALLED TO REDUCE THE SPAN OF RAFTERS. PURLINS SHALL BE SUPPORTED BY 2 INCH X 4 INCH BRACES INSTALLED TO BEARING WALLS AT A SLOPE OF NOT LESS THAN 45 DEGREES. THE BRACES SHALL NOT BE SPACED MORE THAN 48" APART ON CENTER AND THE UNBRACED LENGTH OF BRACES SHALL NOT EXCEED 8 FT. PURLINS SHALL BE CONTINUOUS (REFER IRC R802.5.1)

FLOOR PLANS NOTES:

1. ALL STRUCTURAL INFORMATION SHOWN FOR REFERENCE PURPOSES ONLY. CONTRACTOR SHALL HAVE LICENSED STRUCTURAL ENGINEER REVIEW AND DESIGN ALL STRUCTURAL ELEMENTS SUCH AS ALL FRAMING WALLS, BEAMS, CONNECTIONS, HEADERS, JOISTS AND RAFTERS.

2. ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE.

3. WINDOW SIZES INDICATED ON PLANS ARE NOTED BY APPROXIMATE ROUGH OPENING SIZE, REFER TO PLANS AND EXTERIOR ELEVATIONS FOR WINDOW TYPES.

4. COORDINATE LOCATION OF UTILITY METERS WITH SITE PLAN AND LOCATE AWAY FROM PUBLIC VIEW. VISUAL IMPACT SHALL BE MINIMIZED. I.E. MOUNT AS LOW AS POSSIBLE.

5. PREFABRICATED FIREPLACE CONSTRUCTION SHALL MEET OR EXCEED ALL APPLICABLE CODES REGARDING USE OF FIRE SEPARATIONS, CLEARANCES, ETC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL ITEMS AND CONSTRUCTION MEET OR EXCEED CODE.

OVERALL FLUE HEIGHT SHALL BE COORDINATED TO MATCH HEIGHT SHOWN ON PLANS AND SHALL NOT EXCEED THE TOP OF CHIMNEY CHASES AS CONSTRUCTED.

6. CONTRACTOR SHALL COORDINATE ALL CLOSET SHELVING REQUIREMENTS.

7. DO NOT SCALE DRAWINGS. FOLLOW DIMENSIONS.

8. CONTRACTOR SHALL FIELD VERIFY ALL CABINET DIMENSIONS BEFORE FABRICATION.

9. BEDROOM WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ FT. A MINIMUM NET CLEAR OPENABLE WIDTH OF 20", A MINIMUM NET CLEAR OPENABLE HEIGHT OF 24" AND HAVE A MAXIMUM FINISH SILL HEIGHT OF 43" FROM FINISH FLOOR.

10. ALL GLASS LOCATED WITHIN 18" OF FLOOR, 12" OF A DOOR OR LOCATED WITHIN 60" OF FLOOR AT BATHTUBS, WHIRLPOOLS, SHOWERS, SAUNAS, STEAM ROOMS OR HOT TUBS SHALL BE TEMPERED.

11. ALL EXPOSED INSULATION SHALL HAVE A FLAME SPREAD RATING OF LESS THAN 25 AND A SMOKE DENSITY RATING OF LESS THAN 450.

12. PROVIDE COMBUSTION AIR VENTS, WITH SCREEN AND BACK DAMPER, FOR FIREPLACES, WOOD STOVES AND ANY APPLIANCE WITH AN OPEN FLAME.

13. BATHROOMS AND UTILITY ROOMS SHALL BE VENTED TO THE OUTSIDE WITH A MINIMUM OF A 90 CFM FAN. RANGE HOODS SHALL ALSO BE VENTED TO OUTSIDE.

14. ATTIC HVAC UNITS SHALL BE LOCATED WITHIN 20' OF ITS SERVICE OPENING. RETURN AIR GRILLES SHALL NOT BE LOCATED WITHIN 10 FEET OF A GAS FIRED APPLIANCE.

15. ALL WALLS AND CEILINGS IN GARAGE AND GARAGE STORAGE AREAS TO HAVE 5/8 TYPE X GYP BOARD W/1 HOUR FIRE RATING. ALL EXT. DOORS IN GARAGE TO BE METAL OR SOLID CORE DOORS INCLUDING DOORS ENTERING HEAT/COOLED PORTION OF RESIDENCE.

16. ALL FIREPLACE CHASE WALLS SHALL BE INSULATED INSIDE AND OUTSIDE. PROVIDE HORIZONTAL "DRAFT STOPS" AT EACH FLOOR LEVEL BY PACKING 6"(R-19) INSULATION BETWEEN 2X4 JOISTS.

17. ALL INTERIOR WALLS SHALL BE COVERED WITH 1/2" GYPSUM BOARD. WITH METAL CORNER REINFORCING, TAPE FLOAT AND SAND (3 COATS) USE 5/8" GYPSUM BOARD ON CEILINGS WHEN SUPPORTING MEMBERS ARE 24"OC OR GREATER. USE 1/2" GYPSUM BOARD ON CEILING MEMBERS LESS THAN 24"OC.

18. ALL BATH AND TOILET AREA WALLS AND CEILINGS SHALL HAVE WATER RESISTANT GYPSUM BOARD.

GENERAL NOTES

REVISION: RELEASED FOR CONSTRUCTION

REVISION #:	
REVISION DATE:	
REVISION BY:	
SCALE:	



GENERAL NOTES
INTERIOR ALTERATIONS
ASCENDANT PROPERTY GROUP, LLC
1268 AVON AVE SW ATLANTA, GA 30310

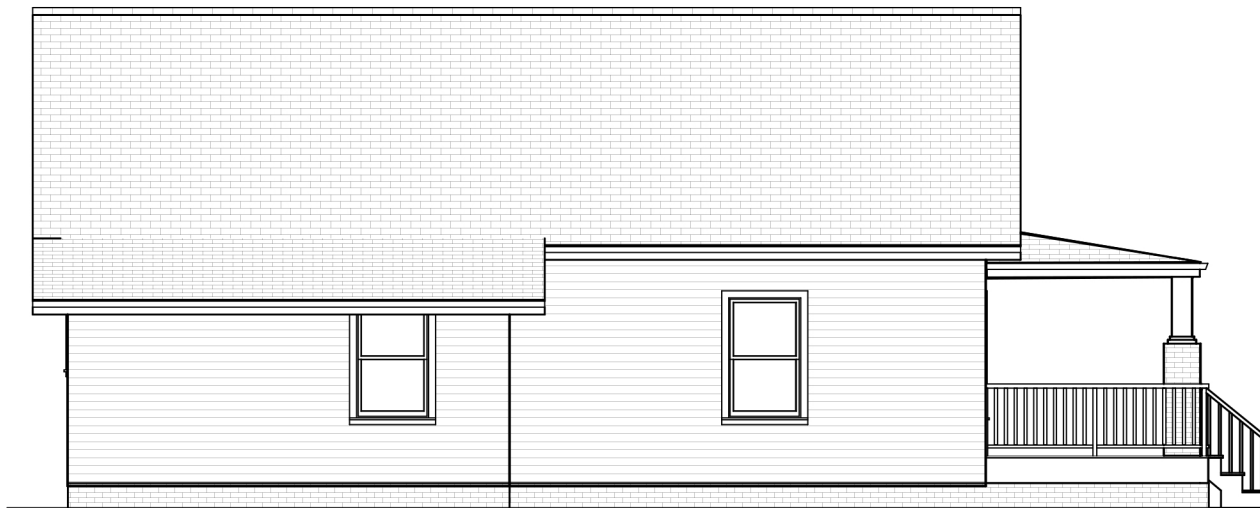
DATE:	1/5/17
JOB #:	
DESIGNED BY:	JAKIYA R. MIXON
DRAWN BY:	JAKIYA R. MIXON



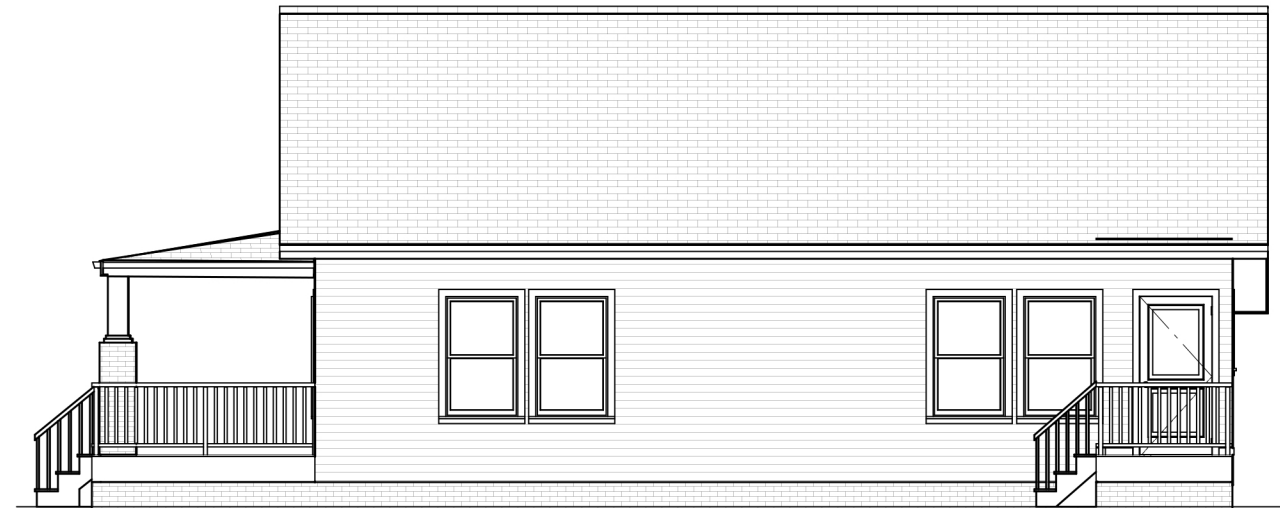
1 EXISTING FRONT ELEVATION
1/8"=1-0'



2 EXISTING REAR ELEVATION
1/8"=1-0'



3 EXISTING LEFT ELEVATION
1/8"=1-0'



4 EXISTING RIGHT ELEVATION
1/8"=1-0'

EXISTING ELEVATIONS

INTERIOR ALTERATIONS
ASCENDANT PROPERTY GROUP, LLC
1266 AVON AVE SW ATLANTA, GA 30310

DATE 1/5/17

DESIGNED BY JAKIYA R. MIXON
DRAWN BY JAKIYA R. MIXON

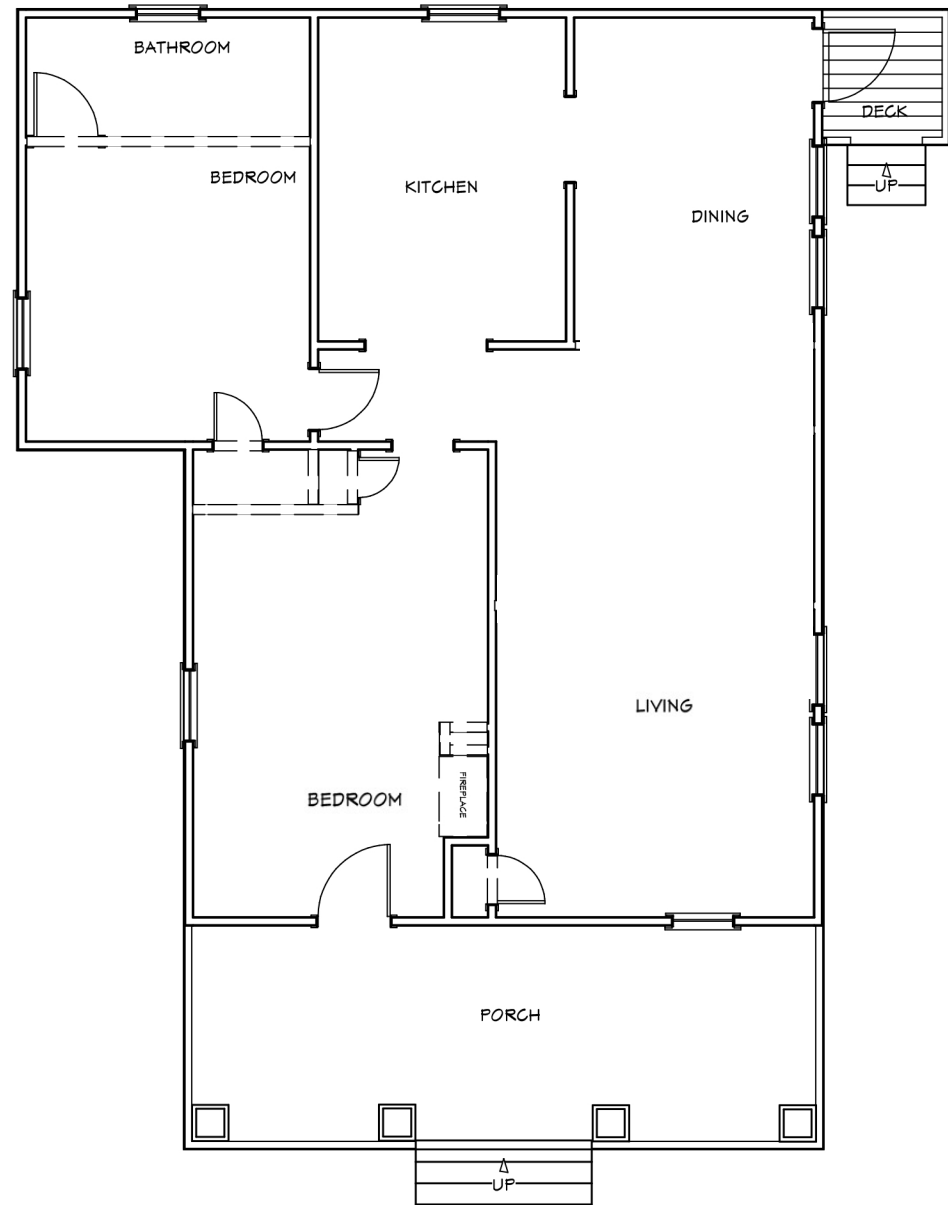
A2.1

8 1/2" x 11"

ASCENDANT
PROPERTY GROUP

REVISION #:
REVISION DATE:
REVISION BY:
SCALE: 1/8"=1-0'
SCALE BASED ON 1/4" PAPER SIZE

REVISION:
RELEASED FOR CONSTRUCTION



1 EXISTING FLOOR PLAN
1/8"=1'-0"

BEDROOM

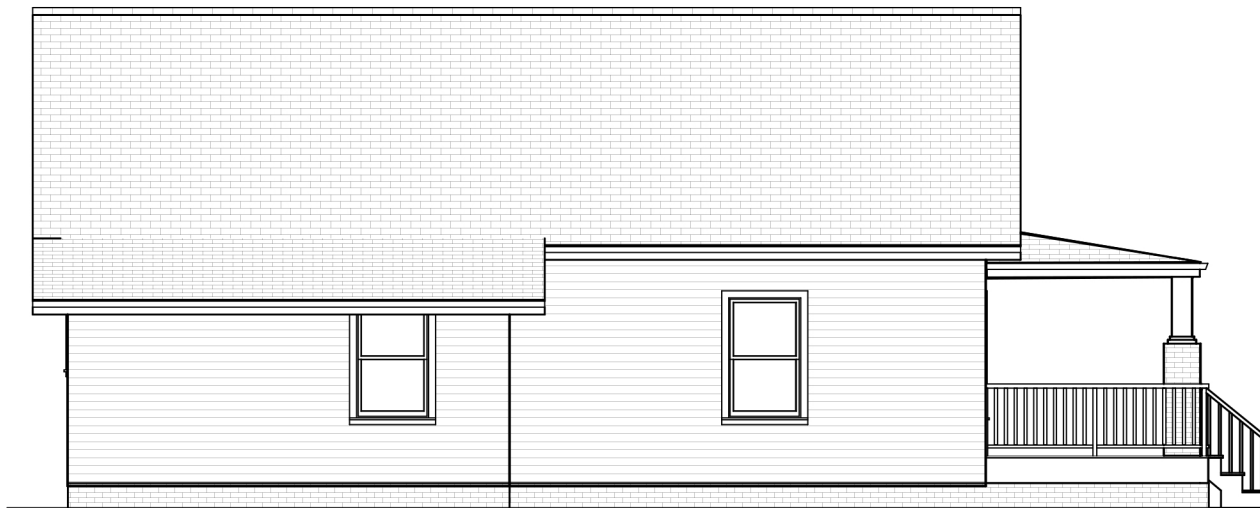
DATE	1/5/17	REVISION #:	
JOB #		REVISION DATE:	
DESIGNED BY	JAKIYA R. MIXON	REVISION BY:	
DRAWN BY	JAKIYA R. MIXON	SCALE:	1/8"=1'-0"
A1.0		RELEASED FOR CONSTRUCTION	
EXISTING FLOOR PLAN INTERIOR ALTERATIONS ASCENDANT PROPERTY GROUP, LLC 1268 AVON AVE SW ATLANTA, GA 30310			
<small>SCALE BASED ON 11x17 SHEET SIZE</small>			



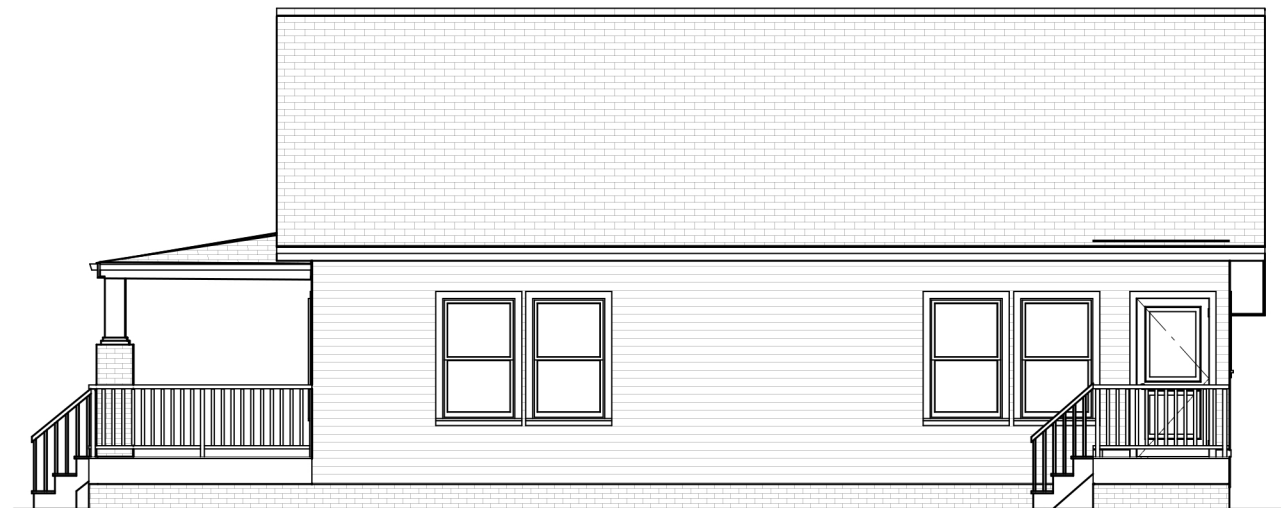
1 PROPOSED FRONT ELEVATION
1/8"=1-0'



2 PROPOSED REAR ELEVATION
1/8"=1-0'

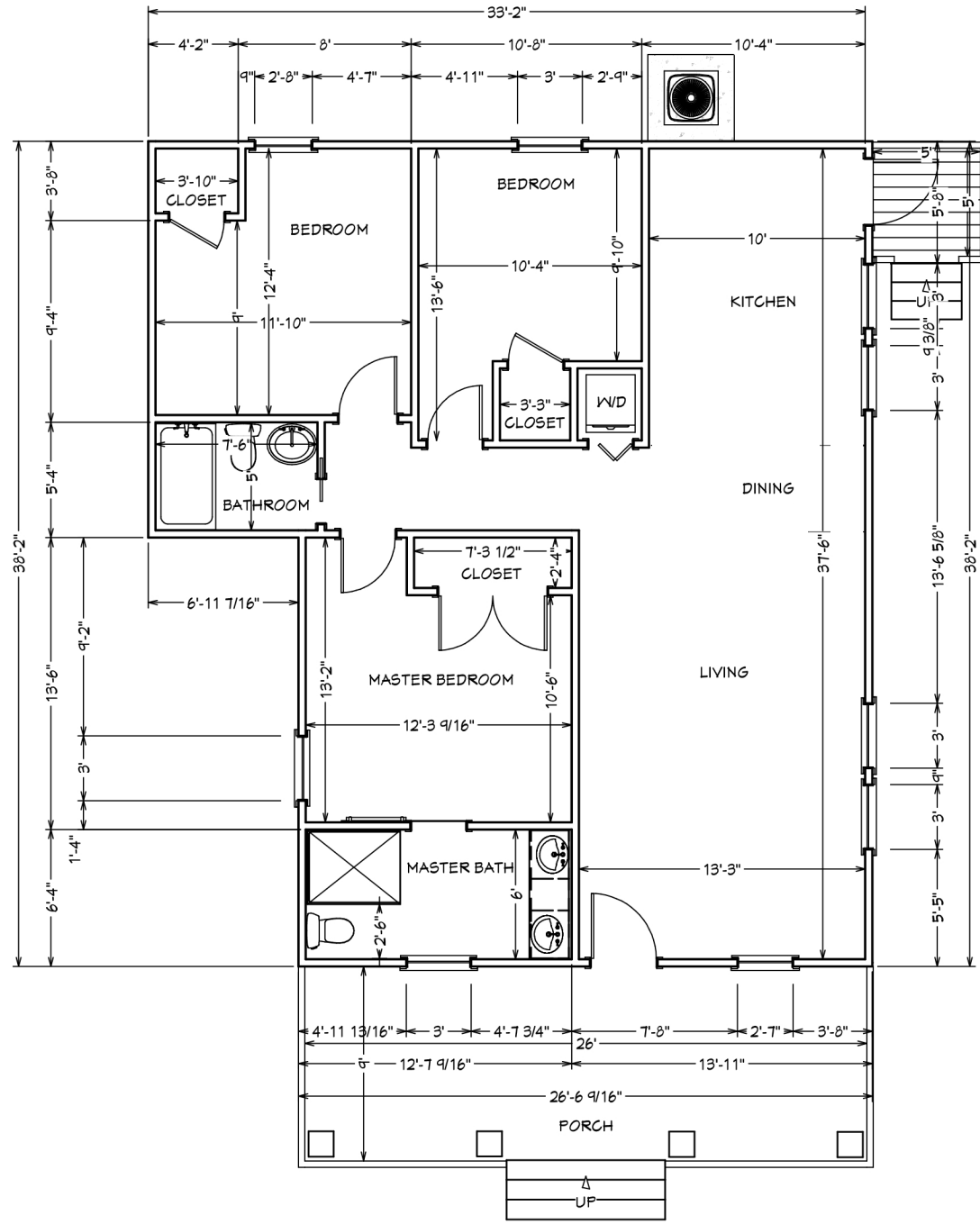


3 PROPOSED LEFT ELEVATION
1/8"=1-0'



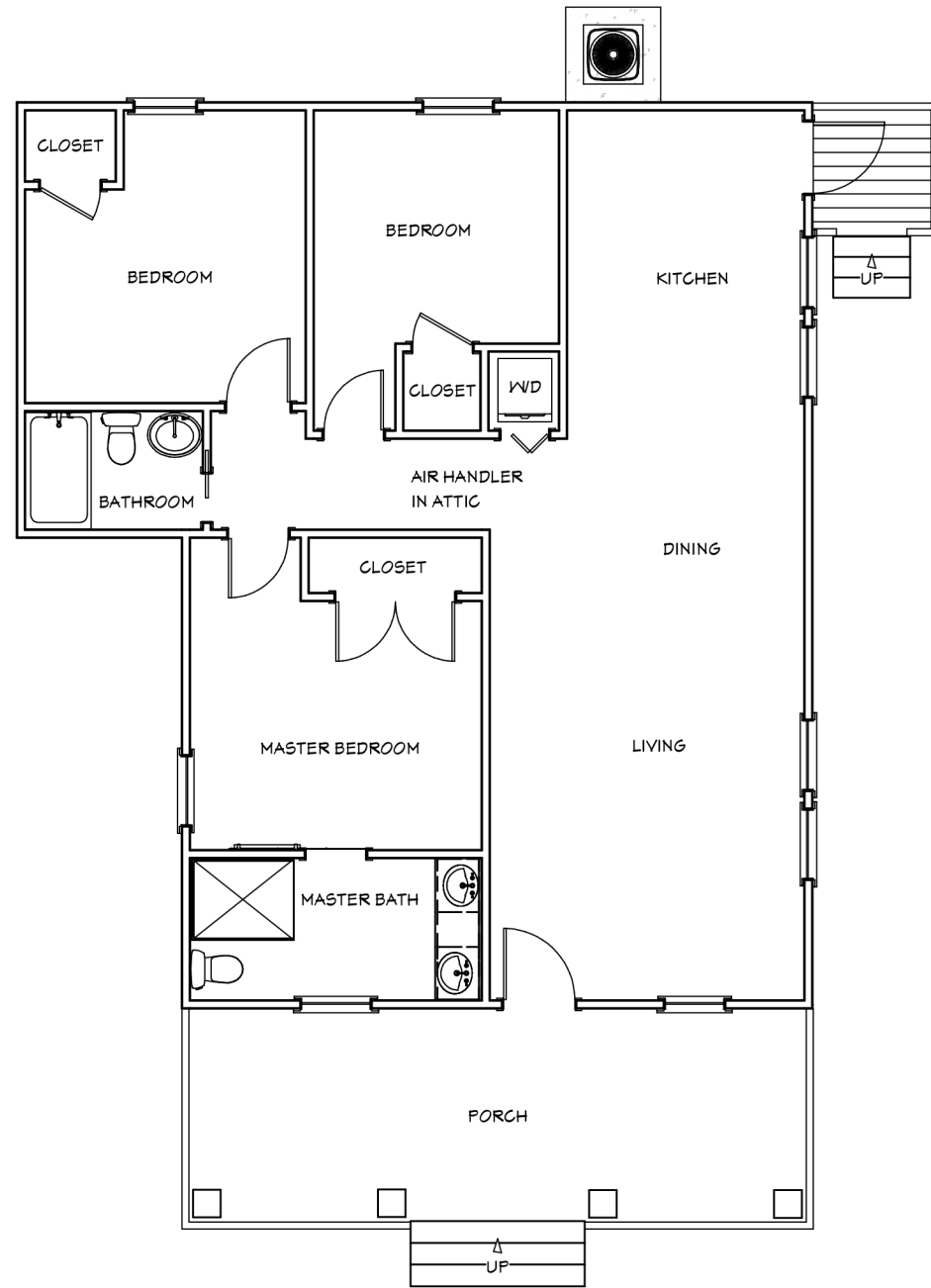
4 PROPOSED RIGHT ELEVATION
1/8"=1-0'

DATE	1/5/17
JOB #	
DESIGNED BY	JAKIYA R. MIXON
DRAWN BY	JAKIYA R. MIXON
ASCENDANT PROPERTY GROUP <small>interior alterations</small>	
INTERIOR ALTERATIONS ASCENDANT PROPERTY GROUP, LLC 1266 AVON AVE SW ATLANTA, GA 30310	
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SCALE:	1/8"=1-0'
RELEASED FOR CONSTRUCTION <small>SCALE BASED ON 11x17 SHEET SIZE</small>	

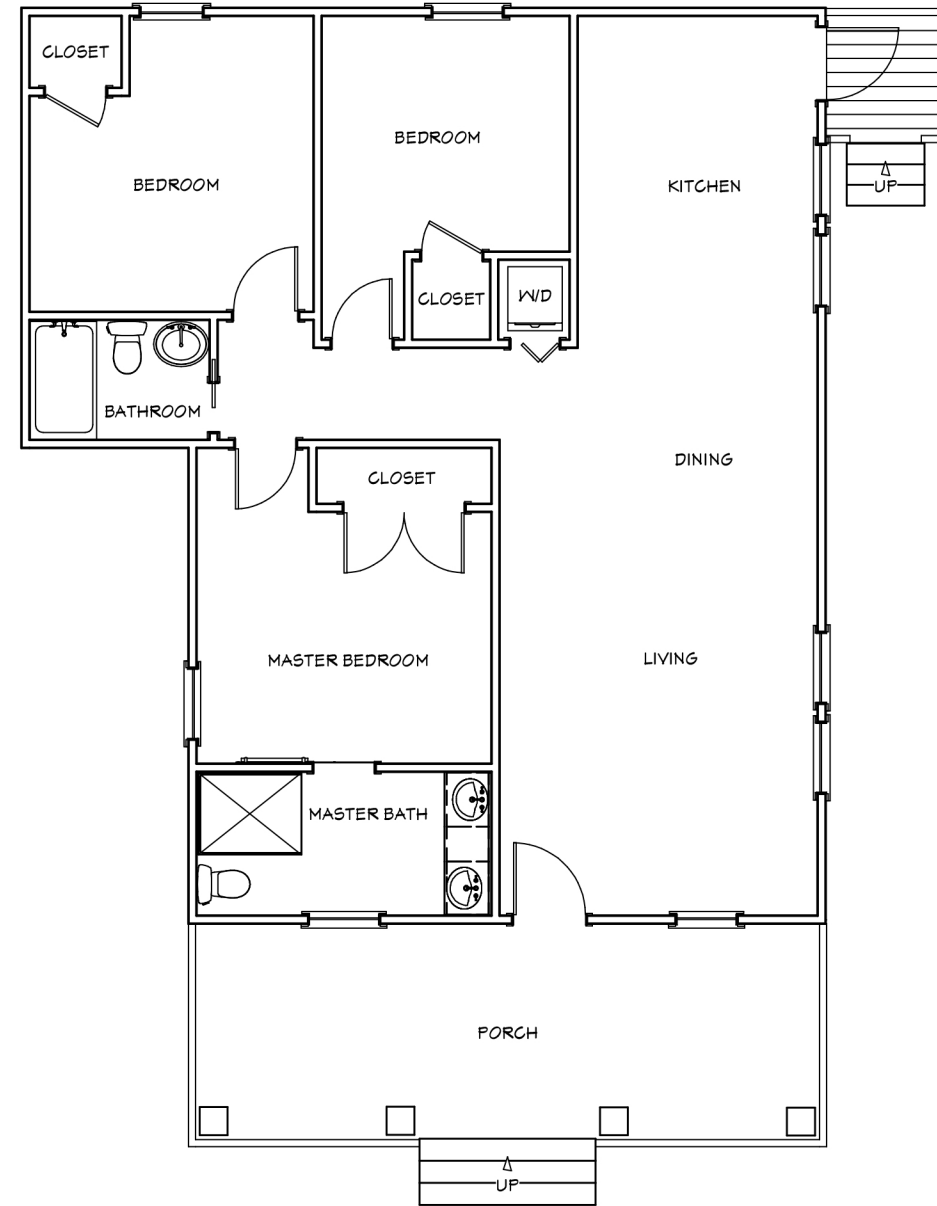


1 PROPOSED FLOOR PLAN
1/8"=1'-0"

DATE	1/5/17	REVISION #:	
JOB #		REVISION DATE:	1/18/17
DESIGNED BY	JAKIYA R. MIXON	REVISION BY:	JAKIYA MIXON
DRAWN BY	JAKIYA R. MIXON	SCALE:	1/8"=1'-0"
ASCENDANT PROPERTY GROUP <small>Atlanta Group</small>		RELEASED FOR CONSTRUCTION	
PROPOSED FLOOR PLAN INTERIOR ALTERATIONS ASCENDANT PROPERTY GROUP, LLC 1268 AVON AVE SW ATLANTA, GA 30310			

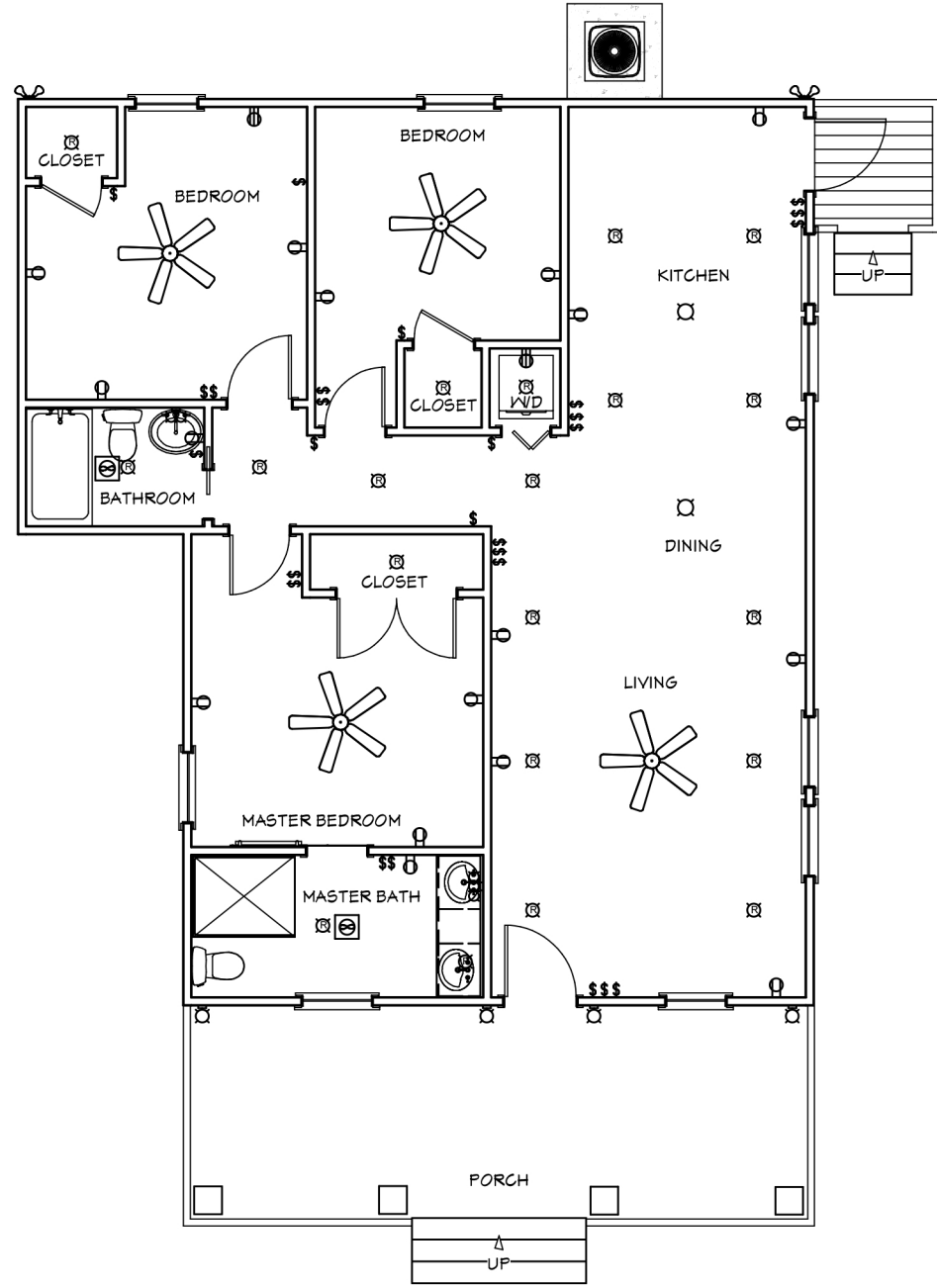


1 PROPOSED MECHANICAL PLAN
1/8"=1-0'



2 PROPOSED PLUMBING PLAN
1/8"=1-0'

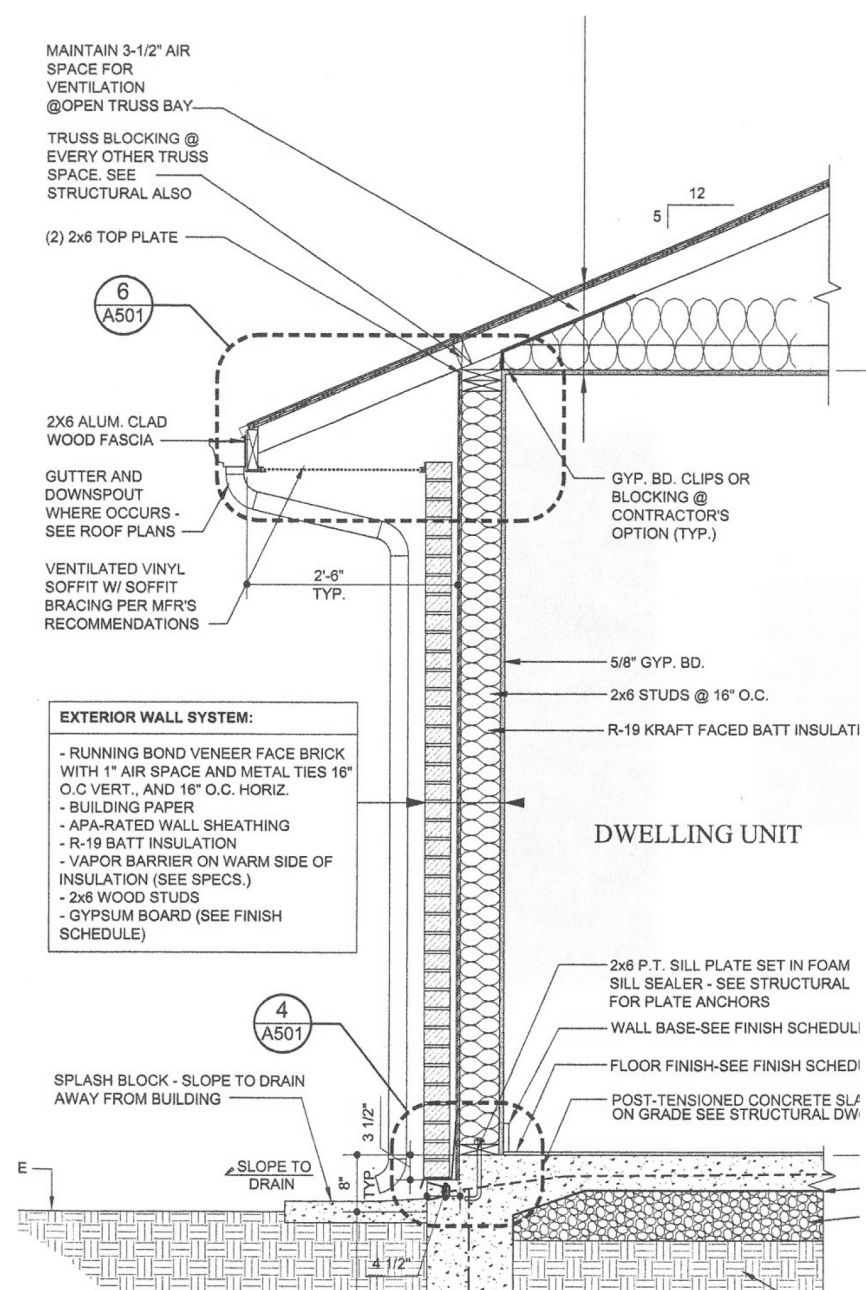
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JOB #		INTERIOR ALTERATIONS	REVISION DATE:	1/18/17	RELEASED FOR CONSTRUCTION	
DESIGNED BY	JAKIYA R. MIXON	ASCENDANT PROPERTY GROUP, LLC	REVISION BY:	JAKIYA MIXON		
DRAWN BY	JAKIYA R. MIXON	1268 AVON AVE SW ATLANTA, GA 30310	SCALE:	1/8"=1-0'		
			ASCENDANT		PROPERTY GROUP	
			Atlanta		Group	
			A3.0		8 1/2" x 11"	



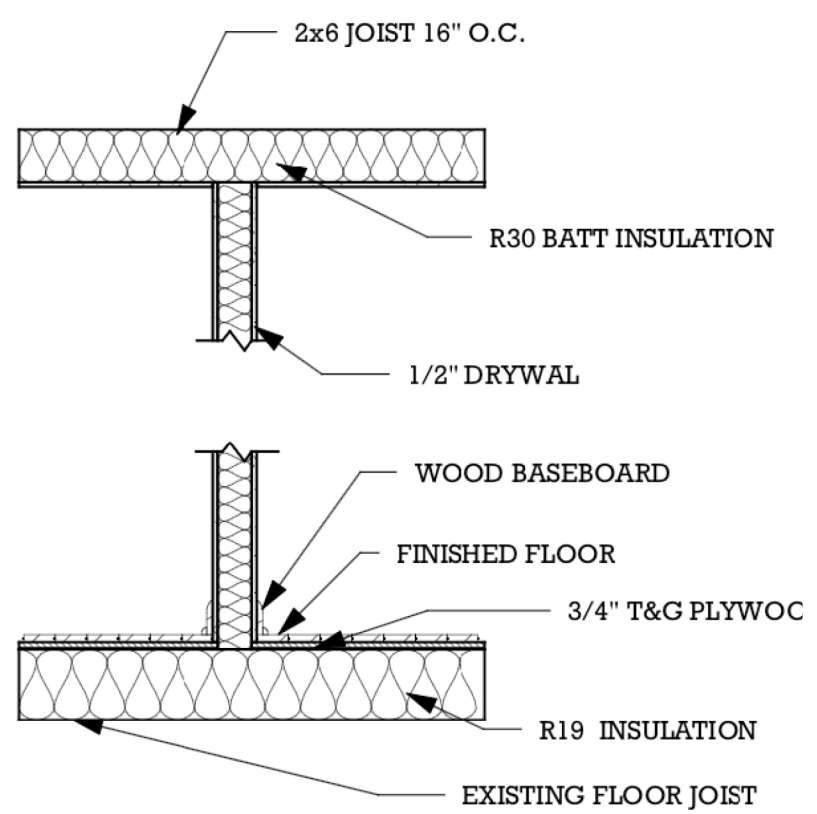
1 PROPOSED ELECTRICAL PLAN
1/8"=1'-0'

DATE	1/5/17	TITLE SHEET	REVISION #:	REVISION DATE: 1/18/17	REVISION:
JOB #		INTERIOR ALTERATIONS	REVISION BY: JAKIYA MIXON	RELEASED FOR CONSTRUCTION	
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DRAWN BY	JAKIYA R. MIXON	1268 AVON AVE SW ATLANTA, GA 30310	PROPERTY GROUP		
A3.1					
8 1/2" x 11"					

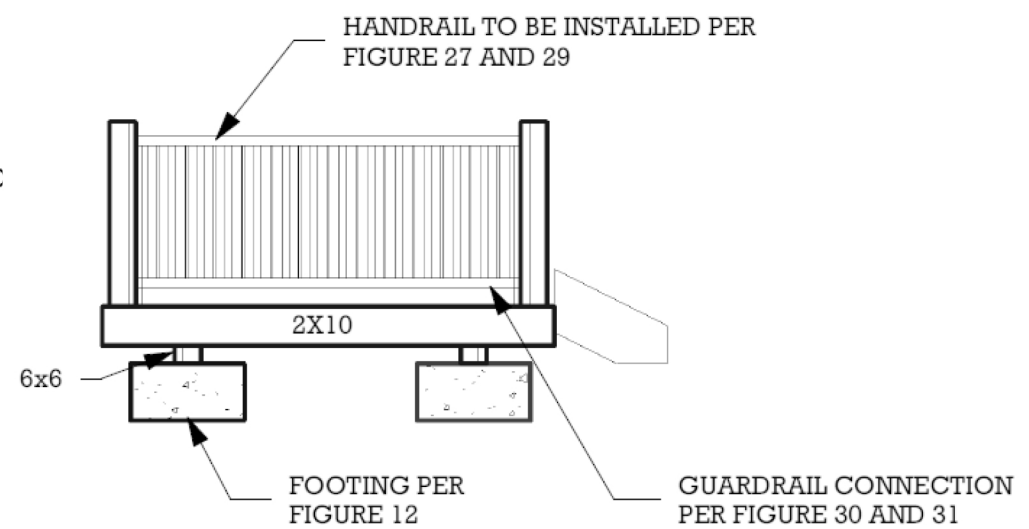




1 TYPICAL WALL DETAIL



2 TYPICAL INTERIOR WALL SECTION



4 TYP. ELEVATION

REVISION #:	REVISION DATE:	REVISION BY:	SCALE: 1/4" = 1'-0"
ASCENDANT PROPERTY GROUP			
TITLE SHEET INTERIOR ALTERATIONS ASCENDANT PROPERTY GROUP, LLC 1268 AVON AVE SW ATLANTA, GA 30310			
DATE	JOB #	DESIGNED BY	DRAWN BY
1/5/17		JAKIYA R. MIXON	JAKIYA R. MIXON
A3.2			